

## AGENDA FOR

## PLANNING CONTROL COMMITTEE

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**To: All Members of Planning Control Committee**

**Councillors :** G McGill (Chair), C Boles, N Boroda,  
J Harris, M Hayes, J Lancaster, J Mason, D Quinn,  
C Tegolo, K Thomas and D Vernon

Dear Member/Colleague

### Planning Control Committee

You are invited to attend a meeting of the Planning Control Committee which will be held as follows:-

<b>Date:</b>	Tuesday, 22 June 2021
<b>Place:</b>	Council Chamber, Bury Town Hall
<b>Time:</b>	7.00 pm
<b>Briefing Facilities:</b>	If Opposition Members and Co-opted Members require briefing on any particular item on the Agenda, the appropriate Director/Senior Officer originating the related report should be contacted.
<b>Notes:</b>	<b>Live streamed meeting</b> <a href="https://councilstream.com/burycouncil">https://councilstream.com/burycouncil</a>

## **AGENDA**

### **1 APOLOGIES FOR ABSENCE**

### **2 DECLARATIONS OF INTEREST**

Members of the Planning Control Committee are asked to consider whether they have an interest in any of the matters on the Agenda and, if so, to formally declare that interest.

### **3 MINUTES OF THE MEETING HELD ON 25TH MAY 2021** *(Pages 3 - 4)*

Minutes of the meeting held on Tuesday the 25<sup>th</sup> May 2021 are attached.

### **4 PLANNING APPLICATIONS** *(Pages 5 - 62)*

Reports attached.

### **5 URGENT BUSINESS**

Any other business which by reason of special circumstances the Chair agrees may be considered as a matter of urgency.

**Minutes of: PLANNING CONTROL COMMITTEE**

**Date of Meeting:** 25 May 2021

**Present:** Councillor G McGill (in the Chair)  
Councillors C Boles, N Boroda, J Harris, M Hayes,  
J Lancaster, D Quinn and D.Vernon

**Also in attendance:**

**Public Attendance:** 3 members of the public were present at the meeting.

**Apologies for Absence:** Councillors J Mason, C Tegolo & K Thomas.

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**PCC.1 APOLOGIES FOR ABSENCE**

Apologies for absence were submitted on behalf of Councillors J Mason, C Tegolo and K Thomas.

**PCC.2 DECLARATIONS OF INTEREST**

Councillor Harris declared a personal interest in planning application 66423, 11 Brookthorpe Road, Bury, as she lived on the same street.

Councillor Harris left the meeting during deliberation of the application.

**PCC.3 MINUTES OF THE MEETING HELD ON THE 20TH APRIL 2021**

**Delegated decision:**

That the Minutes of the meeting held on the 20<sup>th</sup> April 2021 be approved as a correct record and signed by the Chair.

**PCC.4 PLANNING APPLICATIONS**

A report from the Head of Development Management was submitted in relation to various applications for planning permission.

Supplementary information was also submitted in respect of application numbers 66423 and 66389.

The Committee heard representations from applicants and objectors in respect of the applications submitted. This was limited to three minutes for each speaker.

**Delegated decisions:**

1. That the Committee **Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and subject to the conditions included:-

**65937 River Roch, adj Giggs Mill Bridge, off Redmere Drive, Bury, BL9 9GB**

Provision of a new bridge over the River Roch to allow the crossing of equestrian, pedestrian, cycle and light vehicular traffic (max. gross weight 3 tonnes) and a associated path to and from the bridge

2. That the following planning application be **deferred** for a site visit prior to consideration by the Committee:-

**66423      11 Brookthorpe Road, Bury, BL8 3AB**

Two/single storey rear extensions; Alterations to roof and windows

3. That the Committee be **Minded to Approve with Conditions** the following application in accordance with the reasons put forward by the Development Manager in the report and any supplementary information submitted and subject to the conditions included:-

**66389      Former Site of Andrew Textile Industries Ltd, Walshaw Road, Bury, BL8 1NG**

Application for reserved matters approval (appearance, landscaping, layout and scale) for the erection of 97 dwellings and associated works including the demolition of existing buildings, the layout out of roads, parking, footways and landscaping

**PCC.5      DELEGATED DECISIONS**

A report from the Head of Development Management was submitted listing all recent planning application decisions made by Officers using delegated powers since the last meeting of the Planning Control Committee.

**Delegated decision:**

That the report and appendices be noted.

**PCC.6      PLANNING APPEALS**

A report from the Head of Development Management was submitted listing all recent Planning Appeal decisions since the last meeting of the Planning Control Committee.

**Delegated decision:**

That the report and appendices be noted.

**PCC.7      URGENT BUSINESS**

No urgent business was reported.

**COUNCILLOR G MCGILL**  
**Chair**

**(Note: The meeting started at 7.00pm and ended at 7.42pm)**

<b>Title</b>	<b>Planning Applications</b>
<b>To:</b>	<b>Planning Control Committee</b>
<b>On:</b>	<b>22 June 2021</b>
<b>By:</b>	<b>Development Manager</b>
<b>Status:</b>	<b>For Publication</b>

### **Executive Summary**

The attached reports present members with a description of various planning applications, the results of consultations, relevant policies, site history and issues involved.

My recommendations in each case are given in the attached reports.

### **This report has the following implications**

**Township Forum/ Ward:** Identified in each case.

**Policy:** Identified in each case.

**Resources:** Not generally applicable.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:  
The elimination of discrimination, harassment and victimisation;  
The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, I have concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based

upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

The Crime and Disorder Act 1998 imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the Planning Control Committee shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

## **Development Manager**

### **Background Documents**

1. The planning application forms and plans submitted therewith.
2. Certificates relating to the ownership.
3. Letters and Documents from objectors or other interested parties.
4. Responses from Consultees.

FOR FURTHER INFORMATION ON THE CONTENTS OF EACH REPORT PLEASE CONTACT INDIVIDUAL CASE OFFICERS IDENTIFIED IN EACH CASE.

<b>01</b>	<b>Township Forum - Ward:</b> Bury East - Moorside	<b>App No.</b> 66161
	<b>Location:</b> Burrswood Care Home, Newton Street, Bury, BL9 5HB	
	<b>Proposal:</b> Erection of biomass boiler building to supply Burrswood Care Home with heat and hot water from a renewable energy source	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
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<b>02</b>	<b>Township Forum - Ward:</b> Ramsbottom + Tottington - Tottington	<b>App No.</b> 66423
	<b>Location:</b> 11 Brookthorpe Road, Bury, BL8 3AB	
	<b>Proposal:</b> Two/single storey rear extensions; Alterations to roof and windows	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> Y
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<b>03</b>	<b>Township Forum - Ward:</b> Prestwich - Sedgley	<b>App No.</b> 66854
	<b>Location:</b> Shaarei Mordechai Synagogue, 76 Bury New Road, Prestwich, M25 0JU	
	<b>Proposal:</b> Variation of condition 13 following approval of planning permission 45841- Change opening hours from 07:00 - 23:00 to 06:00 - 00:00	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
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<b>04</b>	<b>Township Forum - Ward:</b> Whitefield + Unsworth - Unsworth	<b>App No.</b> 66928
	<b>Location:</b> 23 Hillsborough Drive, Bury, BL9 8LE	
	<b>Proposal:</b> Change of house type to include rear dormer extension	
	<b>Recommendation:</b> Approve with Conditions	<b>Site Visit:</b> N
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**Ward:** Bury East - Moorside

**Item** 01

**Applicant:** Advinia Healthcare Limited

**Location:** Burrswood Care Home, Newton Street, Bury, BL9 5HB

**Proposal:** Erection of biomass boiler building to supply Burrswood Care Home with heat and hot water from a renewable energy source

**Application Ref:** 66161/Full

**Target Date:** 01/01/2021

**Recommendation:** Approve with Conditions

### **Description**

The site contains an existing two storey building, which is in use as a residential care home. The building is constructed from red brick with a tile roof and the building is located around a small car park. The site is accessed from Newton Street and there is additional parking areas to the north and south of Newton Street.

There are residential properties to the north, south, east and west of the site. There is a commercial garage to the east, which is opposite Purdon Street. This includes a row of separate dwellings within the site numbered 1 and 2 Littlewood Cottages and Littlewood Farmhouse.

The proposed development involves the erection of a building to house 3 biomass boilers with an associated flue, which would be used to heat and provide hot water to the adjacent care home. The proposed building would be sited adjacent to the car park and would be clad in timber. The proposed building would measure 2.4 metres by 12 metres and would be 3.05 metres in height. The flue would measure 8.5 metres in height. The site would be accessed from the car park off Newton Street.

The wood pellets would be delivered once every 6 weeks and maintenance visits would take place once or twice a year.

Biomass is the use of material of recent biological origin, derived from plant or animal matter such as wood to produce heat. The biomass boiler for this application would burn wood pellets to produce heat and would be used to provide heating and hot water to the care home. Biomass is arguably carbon-neutral as the CO<sub>2</sub> released into the atmosphere is the same CO<sub>2</sub> that the vegetation has absorbed in the first place and will be re-captured by further vegetation growth.

### **Relevant Planning History**

58615 - Proposed extension to enclose lift at Burrswood House, Newton Street, Bury. Approved with conditions - 29 July 2015.

59581 - Proposed extension to enclose lift (revised scheme) at Burrswood House, Newton Street, Bury. Approved with conditions - 17 February 2016.

02481/E - Energy centre building to house three biomass boilers, including pellet storage compartment and 7.2m flue at Burrswood House, Newton Street, Bury. Enquiry completed - 16 November 2020.

Adjacent site

39335 - Alterations to garage to form a classroom - resubmission at Potters House School, 6 Arley Avenue, Bury. Approved with conditions - 24 July 2002

50523 - Change of use of 4 Arley Avenue from residential (Class C3) to school (Class D1)

at ground floor (in conjunction with existing school at 6 Arley Avenue with a maximum number of pupils rising from 28 to 38) and residential (Class C3) at first floor to provide a self contained flat at 4 & 6 Arley Avenue, Bury. Approved with conditions - 21 January 2009.

### **Publicity**

The neighbouring properties were notified by a letter on 12 November 2020.

6 letters were received from the occupiers of 4, 5, 6, 7, 8, 10 Arley Avenue, which have raised the following issues:

- Concern about an industrial sized boiler being sited right next to my garden. We spend a lot of time in our back garden and the last thing we need our fumes from this waste burning machine to be blown in our direction.
- The noise from this will also be constant and fairly loud and very irritating. I also sleep with our windows open all year round and I am assuming this will become near enough impossible now with the noise that will be coming from this boiler.
- This is such a huge site so I cannot understand why it cannot be put somewhere else or on the other side where it will not become disruptive for me and my mental health.
- The proposed boiler would be 4 metres from my back garden fence and close to a nursery.
- The information supplied by UK Development Group in their Planning Statement says that there will be noise levels of between 50dBA and 75 dBA is unacceptable. This is equivalent of having a dishwasher or vacuum on 24 hours a day. I object to any continuous levels of noise close to my home.
- The regular delivery of combustible materials may also be intrusive.
- The Care Home is situated on an extensive site. Could they not site the boiler away from nearby residential areas?

The objectors have been notified of the Planning Control Committee meeting.

The objectors were notified of the increase in height of the chimney by letter on 10 June 2020.

Any comments will be reported in the Supplementary Report.

### **Statutory/Non-Statutory Consultations**

**Environmental Health - Contaminated Land** - No objections, subject to the inclusion of conditions relating to contaminated land.

**Environmental Health - Air Quality** - No objections, subject to the inclusion of conditions relating to the flue, odours, and maintenance of the boiler.

**Environmental Health - Pollution Control** - No objections, subject to the inclusion of conditions relating to deliveries.

**The Coal Authority** - No objections.

**Traffic Section** - No objections.

**United Utilities** - No response.

**Pre-start Conditions** - Awaiting confirmation that the applicant has agreed with pre-start conditions.

### **Unitary Development Plan and Policies**

EN1/1	Visual Amenity
EN1/2	Townscape and Built Design
EN4/1	Renewable Energy
EN6	Conservation of the Natural Environment
EN6/3	Features of Ecological Value
EN7	Pollution Control
EN7/1	Atmospheric Pollution
EN7/2	Noise Pollution
EN7/5	Waste Water Management
HT2/4	Car Parking and New Development
CF1/1	Location of New Community Facilities

### Issues and Analysis

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Principle** - The proposed development involves the provision of a biomass boiler, which would be used to heat the existing care home.

Policy CF1/1 states that proposals for new and improved community facilities will be considered with regard to the following factors:

- impact on residential amenity and the local environment;
- traffic generation and car parking provision;
- the scale and size of the development;
- where applicable, access to shops and other services;
- if the use is intended to serve a local community, the suitability of the chosen location in relation to that community to catchment area;
- accessibility by public and private transport;
- the needs and requirements of the disabled

Policy EN4/1 states that the Council will encourage proposals for the provision of renewable energy sources, subject to compliance with other policies and proposals of the plan. In particular, the Council will seek to ensure that proposals:

- do not involve an unacceptable loss of amenity, for example through visual intrusion and noise;
- would not have an unacceptable adverse impact upon the setting of scheduled ancient monuments, Conservation Areas, Listed Buildings and archaeological remains;
- would not have an unacceptable adverse impact upon areas of Green Belt, Special Landscape Areas and areas of ecological importance;
- would not result in a health and safety risk, nuisance to the public;
- where necessary, include an environmental assessment as part of the planning application;
- would not have an unacceptable adverse impact on the Borough's natural environment.

The proposed installation of the biomass boiler would lead to improved facilities at the care home. The issues relating to residential amenity and traffic will be assessed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy CF1/1 of the Bury Unitary Development Plan.

The proposed development would generate heat and hot water from a renewable energy source - a biomass boiler. The site is not located near a non designated or designated heritage asset and is not located in the Green Belt, special landscape areas or an area of ecological importance. The issues of amenity and nuisance will be assessed later in the report. Therefore, the proposed development would be acceptable in principle and would be in accordance with Policy EN4/1 of the Bury Unitary Development Plan.

**Design** - The proposed development would be located to the south of the existing building and adjacent to the car park. The only openings on the building would be double doors, two fuel pipes and the flue and all would be located on the northern elevation. The proposed building would be clad in timber with a flat roof and as such, would be similar in appearance

to a large shed. The proposed building would have a beech hedgerow planted on the perimeter to further screen the building from view. As such, the proposed development would not be a prominent feature in the streetscene.

The proposed flue would be located on the northern elevation and it has been increased in height to 7.8 metres to ensure adequate dispersal of fumes and odours. The proposed chimney would be painted black, which would match the existing rainwater pipes on the building. The proposed chimney would be viewed against the backdrop of the existing building and as such, would not be a prominent feature in the streetscene.

Therefore, the proposed development would be in accordance with Policies EN1/1 and EN1/2 of the Bury Unitary Development Plan.

**Impact upon residential amenity** - SPD6 provides guidance on aspect standards and as such, is a useful guide in this instance.

There would be no openings on the southern elevation of the proposed building, which faces the properties on Arley Avenue.

The proposed development would be at least 14.2 metres from the rear elevation of the properties on Arley Avenue. This would be in excess of the 6.5 metre aspect standard.

Therefore, the proposed development would not have an adverse impact upon the amenity of the neighbouring properties, with regard to privacy and loss of light. The proposed development would be in accordance with Policy CF1/1 and EN1/2 of the Bury Unitary Development Plan.

**Noise** - The proposed development would generate noise levels of between 40 - 50 dB. However, the proposed boiler would be located within the building and sound insulation would be provided on the divides of the rooms. The Pollution Control Section has no objections to the operation of the boiler. As such, the operation of the proposed boiler would not have a significant adverse impact upon the amenity of the neighbouring properties.

The proposed development requires the delivery of wood pellets once every 6 weeks and these would be loaded into the building. The Pollution Control Section has no objections, subject to the inclusion of a condition, relating to the hours of deliveries. Therefore, the proposed development, subject to conditional control, would not have a significant adverse impact upon the amenity of the neighbouring properties.

Therefore, the proposed development would be in accordance with Policy EN7/2 of the Bury Unitary Development Plan.

**Odour** - The proposed development would include the provision of a chimney to disperse any fumes and odours. The applicant has agreed to increase the height of the chimney to 8.5 metres, which would ensure that it clears the highest part of the roof. In addition, an filter would be fitted to the boiler within the building, which would further reduce emissions by 85%. A statement has been provided by the agent to confirm that there are 5 boilers in operation at care homes, which are closer to residential properties than the proposed scheme. The Pollution Control Section have no objections to the scheme based upon the impact of odour on the neighbouring properties. Therefore, the proposed development would not have a significant adverse impact upon the amenity of the neighbouring properties and would be in accordance with Policy EN7/1 of the Bury Unitary Development Plan.

**Highways issues** - The site would be accessed via the private car park from Newton Street as existing. The deliveries would take place once every 6 weeks and would use the existing car park. The proposed development would not impact upon the parking provision at the site. The Traffic Section has no objections to the proposal. Therefore, the proposed development would not be detrimental to highway safety and would be in accordance with

### **Response to objectors**

- The chimney has been increased in height and would clear the roof of the adjacent building, which would ensure that any odours would disperse into the air.
- The issues relating to noise have been addressed in the report above.
- The agent has considered alternative sites, but these were not suitable due to the need to deliver the pellets to the building.
- The noise levels specified within the Planning statement are for the boiler, which would be located inside a building with soundproofing. As such, the noise levels would not have a significant adverse impact upon the amenity of the neighbouring properties.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered NT13503/084/01 B, NT13503/084/002 A, NT13503/084/003 B, NT13503/084/04 C, NT13503/084/05 A, NT13503/084/006 and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The landscaping scheme hereby approved shall be implemented to the written satisfaction of the Local Planning Authority not later than 12 months from the date the building(s) is first occupied. Any trees or shrubs removed, dying or becoming severely damaged or becoming seriously diseased within 5 years of planting shall be replaced by trees or shrubs of a similar size and species to those originally required to be planted to the written satisfaction of the Local Planning Authority.  
Reason. To secure the satisfactory development of the site and in the interests of visual amenity pursuant to Policy EN8/2 – Woodland and Tree Planting of the Bury Unitary Development Plan..
4. No development shall commence unless and until:-
  - A contaminated land Preliminary Risk Assessment report to assess the actual/potential contamination and/or ground gas/landfill gas risks at the site shall be submitted to, and approved in writing by, the Local Planning Authority;
  - Where actual/potential contamination and/or ground gas/landfill gas risks have been identified, detailed site investigation and suitable risk assessment shall be submitted to, and approved in writing by the Local Planning Authority;
  - Where remediation/protection measures is/are required, a detailed Remediation Strategy shall be submitted to, and approved in writing by, the

Local Planning Authority.

Reason. The scheme does not provide full details of the actual contamination and subsequent remediation, which is required to secure the satisfactory development of the site in terms of human health, controlled waters, ground gas and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

5. Following the provisions of Condition 4 of this planning permission, where remediation is required, the approved Remediation Strategy must be carried out to the satisfaction of the Local Planning Authority within agreed timescales; and A Site Verification Report detailing the actions taken and conclusions at each stage of the remediation works, including substantiating evidence, shall be submitted to and approved in writing by the Local Planning Authority prior to the development being brought into use.

Reason. To secure the satisfactory development of the site in terms of human health, controlled waters and the wider environment and pursuant to National Planning Policy Framework Section 15 - Conserving and enhancing the natural environment.

6. Deliveries of plant or materials shall only take place between the hours of 08:00hrs and 18:00hrs on weekdays and 08:00hrs to 13:00hrs Saturdays and no such activities shall take place on site on Sundays or Public Holidays

Reason. In the interests of residential amenity pursuant to Policy EN7/2 - Noise Pollution of the Bury Unitary Development Plan.

7. Notwithstanding the plans submitted, the height of the chimney/flue shall terminate above the tallest part (apex) of the building, which is 7.8 metres.

Reason. To ensure adequate dispersal of the fumes and odours pursuant to Policy EN7/1 - Atmospheric Pollution of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

8. Operation of the boiler shall not cause any odours to be present at the nearest odour sensitive property.

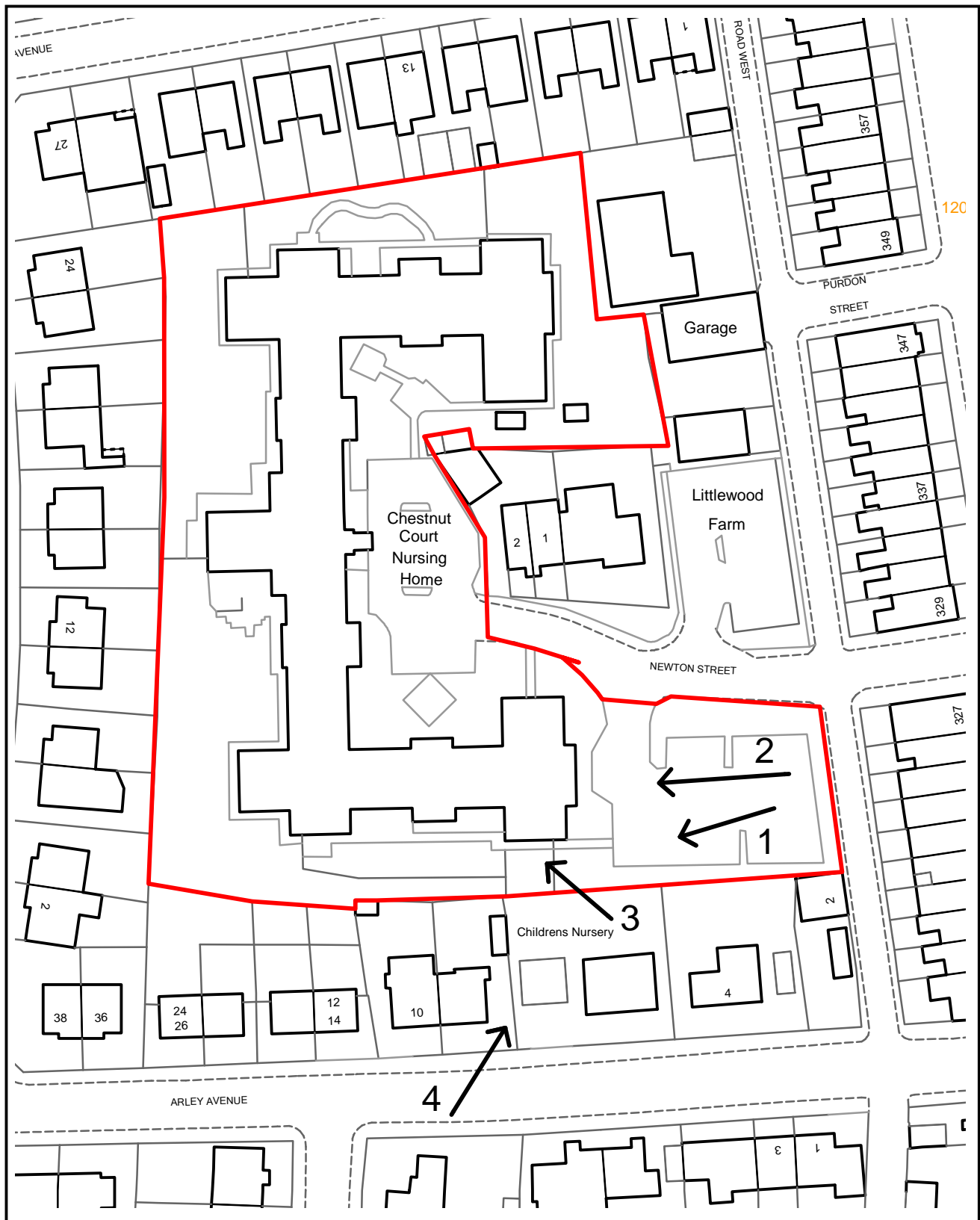
Reason. To protect the air quality in the locality pursuant to Policy EN7/1 - Atmospheric Pollution of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

9. The appliance and arrestment plant shall be operated in line with the instruction and maintenance manual for the appliance installed.

Reason. To protect the air quality in the locality pursuant to Policy EN7/1 - Atmospheric Pollution of the Bury Unitary Development Plan and Section 10 of the National Planning Policy Framework.

For further information on the application please contact **Helen Leach** on **0161 253 5322**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66161**

**ADDRESS: Burrswood Care Home,  
Newton Street, Bury, BL9 5HB**

**Planning, Environmental and Regulatory Services**

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**Bury**  
COUNCIL

66161

Photo 1



Photo 2



66161

Photo 3



Photo 4





**Key**

- Application Boundary
- Other land under control of the applicant
- Indicative Tree Locations
- Hedge
- Burrswood Care Home and nearby buildings
- Proposed Bio-pod Location
- Soft Landscape Area (Grass)
- Hardstanding Area
- Drain Cover

B	FLUE ROUTING AMENDED TO MINIMISE AMOUNT OF FLUE VISIBLE EXTERNALLY	09.12.20	PAG	BP	HK
A	RED LINE BOUNDARY REVISED LAYOUT OF GREENERY UPDATED	28.07.20	NC	BP	HK
REVISION	DETAILS	DATE	DRN	CHKD	APPD
CLIENT	THE UK DEVELOPMENT GROUP LTD				
PROJECT	BURRSWOOD CARE HOME ENERGY CENTRE				
DRAWING TITLE	PROPOSED SITE PLAN				
DRG No.	NT13503/0084/003	REV	B		
DRG SIZE	A3	SCALE	1:500	DATE	JULY 2020
DRAWN BY	AB	CHECKED BY	BP	APPROVED BY	HK

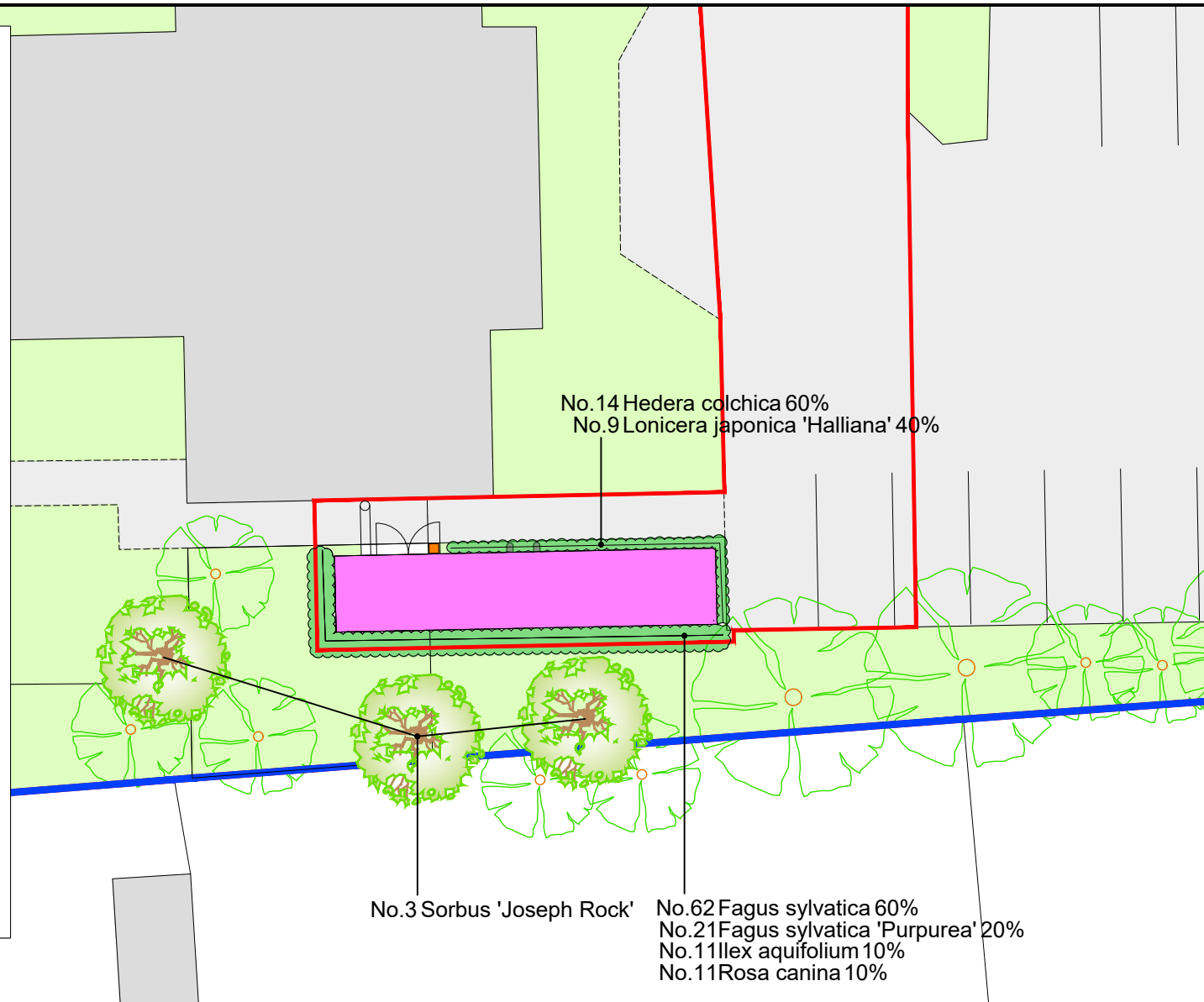
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General Planting Notes:

1. Tree protection will be in place prior to works commencing. Any existing trees to be retained, are the responsibility of the main contractor on site who will take all necessary protective measures set out in BS 5837:2012.
2. All groundworks and planting operations will be in accordance with the following British Standards:
  - BS 3882 Specification for Topsoil
  - BS 4428 Code of Practice for General Landscape Operations
  - BS 8545 Trees from Nursery to Independence in the Landscape
3. Topsoil depths to be: 300mm.
4. Tree Pits will be dug by the landscape contractor. Pits for containerised shrubs and RB trees to be no deeper than root system and wide enough to accommodate roots when fully spread. Transplants to be notch planted. Tree pits to be backfilled with 300mm topsoil over subsoil.
5. RB and transplant trees to be planted in late October to late March. Container grown plants may be planted at any time of year.
6. Apply peat-free tree and shrub planting compost by thoroughly incorporating it with topsoil into planting holes.
7. All trees and shrubs will be watered in on planting.
8. RB Trees to be supported by 2no. 75mm diameter x 1900mm double stake, cross-bar and tie. Stakes to be cut off at approximately one third of the height of the clear stem of tree.
9. Climbers to be supported by horizontal galvanised steel wires attached to Bio-pod.
10. Surface ornamental bark mulch to be supplied to all planting to a depth of 75mm.
11. All planting areas to be maintained weed free. Any dead or diseased plants will be replaced during the following planting season. Watering to be carried out as necessary to allow plants to thrive through the 5-year establishment maintenance period.



Key

- Application boundary
- Other land under control of the applicant
- Indicative existing tree locations
- Proposed tree planting
- Proposed climbing plants and hedgerow planting to bio-pod
- Burrswood Care Home and nearby buildings
- Proposed bio-pod location
- Soft landscape area (grass)
- Hardstanding area
- Drain cover

Tree planting

Trees

Number	Species	Common Name	Height	Girth	Specification
3	Sorbus 'Joseph Rock'	Rowan 'Joseph Rock'	500-550cm	20-25cm	Semi-Mature :Clear Stem min. 200 :3x :RB

Climbers

Climbers

Number	Species	Common Name	Height	Specification	Pot Size	Density
14	Hedera colchica	Persian Ivy	40-60cm	Caned: Several Shoots: 2 brks: C	2L	2/m
9	Lonicera japonica 'Halliana'	Japanese Honeysuckle 'Halliana'	60-80cm	Caned: Several Shoots: 2 brks: C	2L	2/m

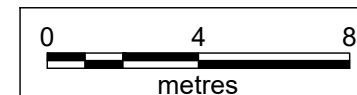
Hedgerow planting


Trees

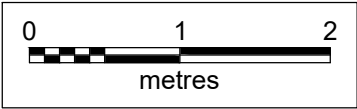
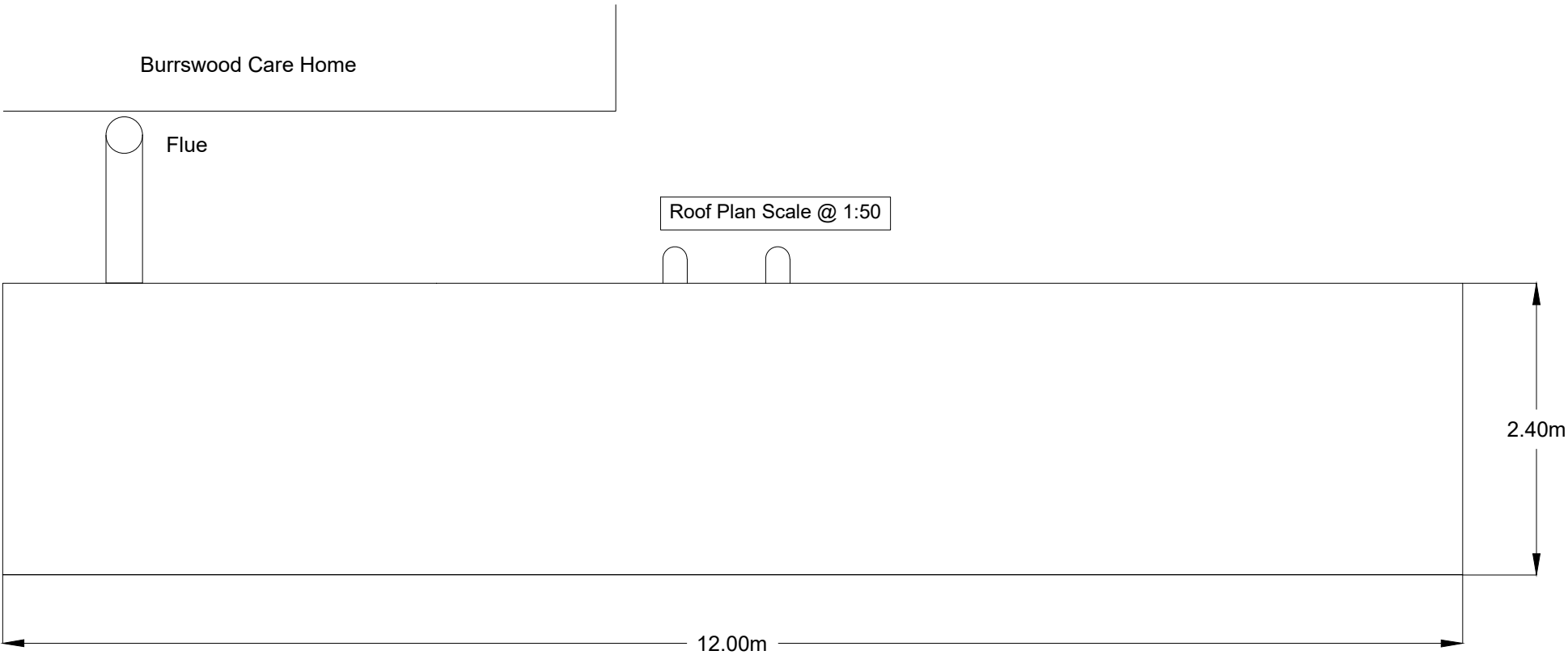
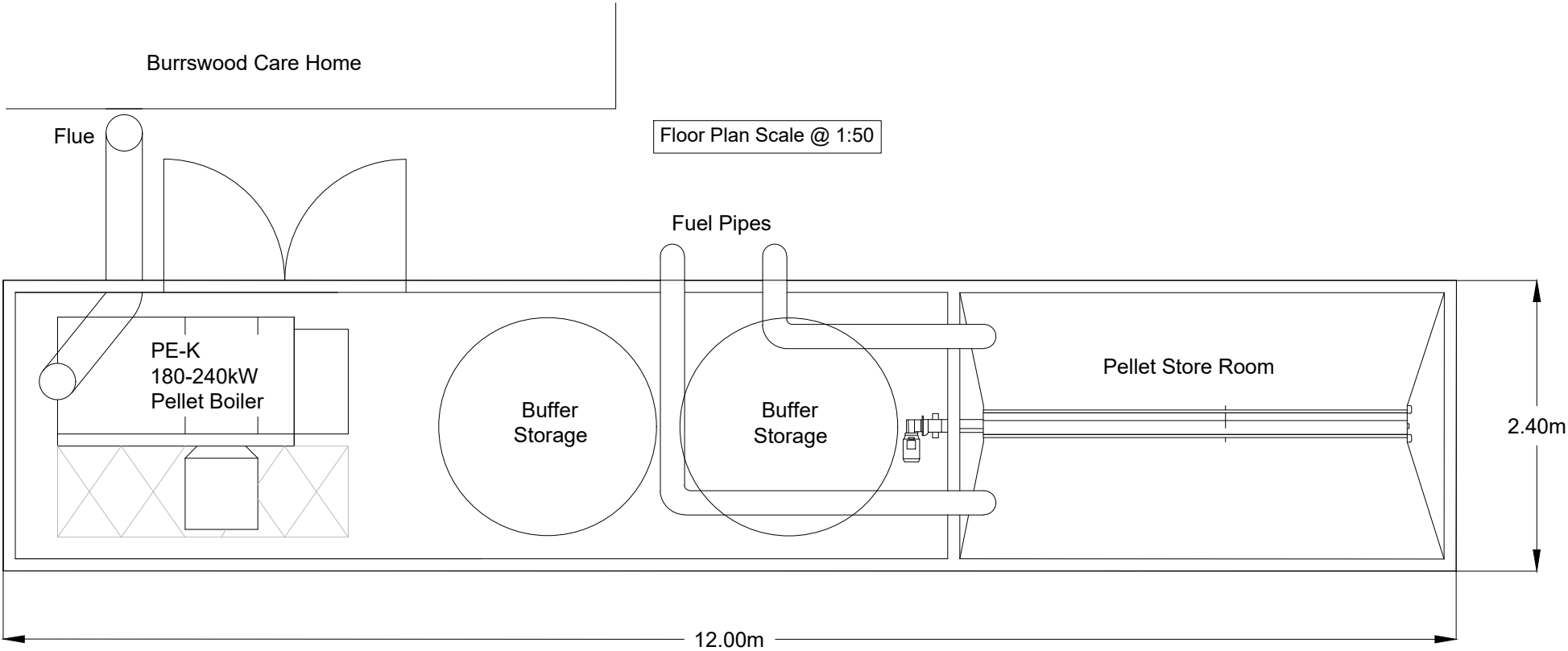
Number	Species	Common Name	Height	Specification	Density
62	Fagus sylvatica	Common Beech	60-80cm	1+2: Transplant - seed raised: B	0.3Ctr Double Staggered at 0.3m offset
21	Fagus sylvatica 'Purpurea'	Copper Beech	60-80cm	1+2: Transplant - seed raised: B	0.3Ctr Double Staggered at 0.3m offset

Shrubs

Number	Species	Common Name	Height	Specification	Pot Size	Density
11	Ilex aquifolium	Common Holly	40-60cm	Leader with Laterals: C	2L	0.3Ctr Double Staggered at 0.3m offset
11	Rosa canina	Dog Rose	60-80cm	1+1: Transplant - seed raised: Branched: 3 brks: B		0.3Ctr Double Staggered at 0.3m offset



REVISION	DETAILS	DATE	DRN	CHKD	APPD
CLIENT THE UK DEVELOPMENT GROUP LTD					
PROJECT BURRSWOOD CARE HOME ENERGY CENTRE					
DRAWING TITLE PLANTING PLAN					
DRG No. NT13503/0084/006		REV -			
DRG SIZE A3	SCALE 1:200	DATE DEC 2020			
DRAWN BY LG	CHECKED BY BP	APPROVED BY HK			
<div><div><p>NEWCASTLE UPON TYNE   TEL 0191 232 0943 WWW.WARDELL-ARMSTRONG.COM</p><div><div><input type="checkbox"/> BIRMINGHAM</div><div><input type="checkbox"/> GLASGOW</div><div><input type="checkbox"/> BOLTON</div><div><input type="checkbox"/> LEEDS</div><div><input type="checkbox"/> CARDIFF</div><div><input type="checkbox"/> LONDON</div><div><input type="checkbox"/> CARLISLE</div><div><input type="checkbox"/> MANCHESTER</div><div><input type="checkbox"/> EDINBURGH</div><div><input type="checkbox"/> STOKE ON TRENT</div></div></div></div>					




A	AMENDED INTERNAL LAYOUT + FLUE ROUTING	09.12.20	PAG	BP	HK
REVISION	DETAILS	DATE	DRN	CHKD	APPD

CLIENT	THE UK DEVELOPMENT GROUP LTD
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PROJECT	BURRSWOOD CARE HOME ENERGY CENTRE
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DRAWING TITLE	PROPOSED ROOF AND FLOOR PLANS
---------------	-------------------------------

DRG No.		NT13503/084/05		REV		A					
DRG SIZE		A3		SCALE		1:50		DATE		JULY 2020	
DRAWN BY		AB		CHECKED BY		BP		APPROVED BY		HK	



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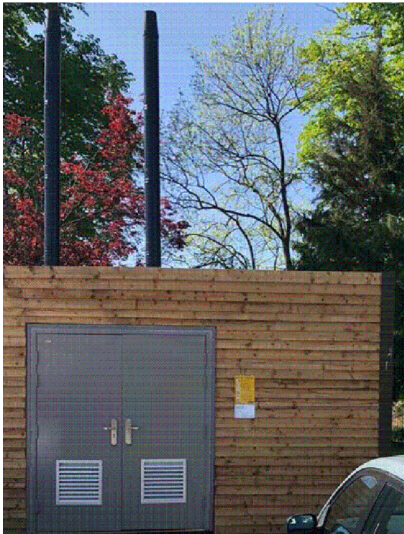
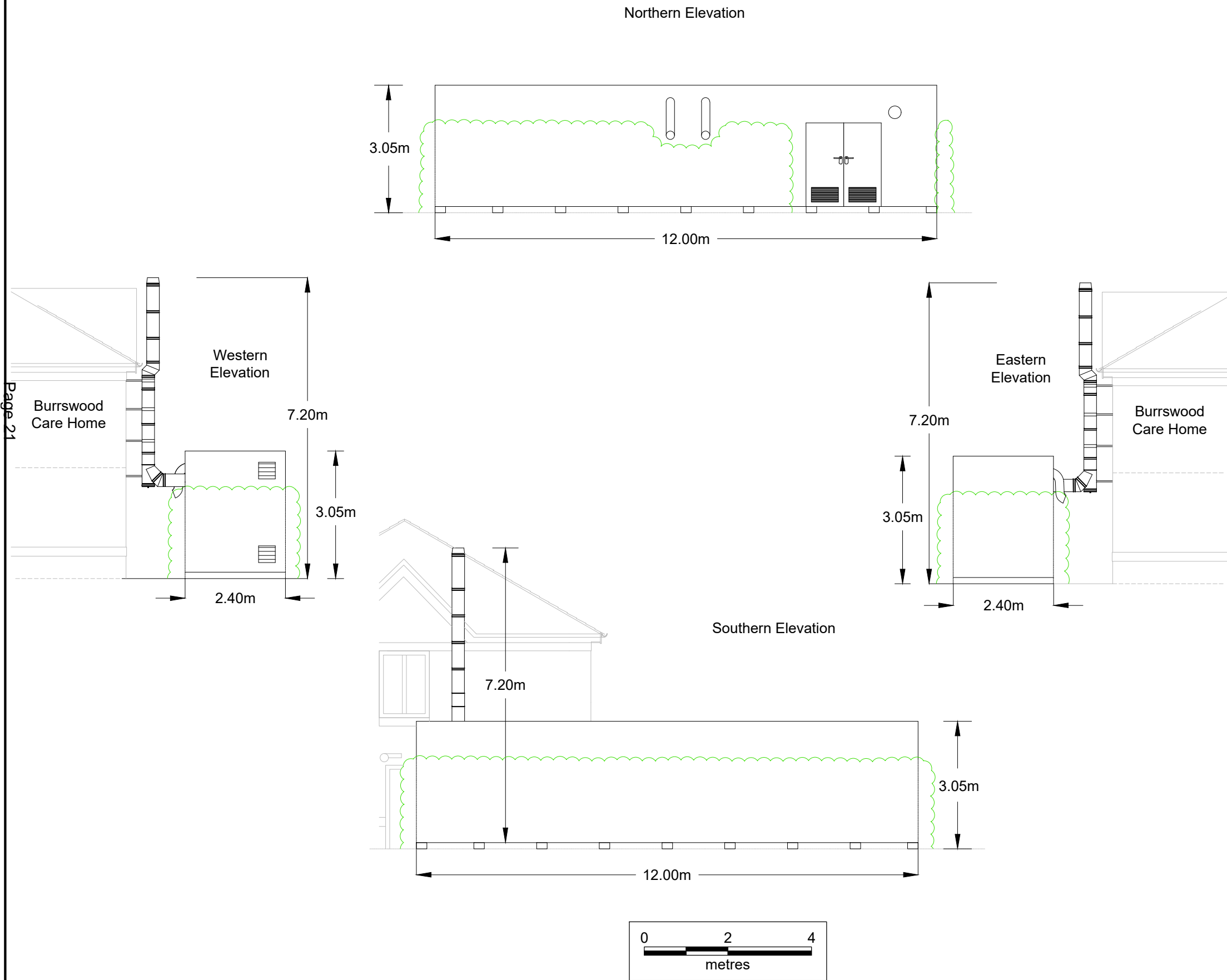
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☐ MANCHESTER

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Note: Wooden Cladding Proposed. Indicative example above.

Biocabin to sit on 9no.150mmx250mmx2400mm wooden railway sleepers.

Reduced amount of visible flue.

C	FLUE ROUTING AMENDED TO MINIMISE AMOUNT OF FLUE VISIBLE EXTERNALLY + AMENDED CARE HOME BACKGROUND	09.12.20	PAG	BP	HK
B	ADDED WOODEN SLEEPER FOUNDATION UNDER BIOCABIN	12.11.20	PAG	BP	HK
A	CARE HOME DETAILS UPDATED	28.07.20	NC	BP	HK


REVISION	DETAILS	DATE	DRN	CHKD	APPD
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CLIENT	THE UK DEVELOPMENT GROUP LTD
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PROJECT	BURRSWOOD CARE HOME ENERGY CENTRE
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DRAWING TITLE	PROPOSED ELEVATIONS
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DRG No.	NT13503/084/04	REV	C
DRG SIZE	A3	SCALE	1:100
DATE	JULY 2020	APPROVED BY	HK
DRAWN BY	AB	CHECKED BY	BP



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**Ward:** Ramsbottom + Tottington - Tottington

Item 02

**Applicant:** Mr Omair Akram

**Location:** 11 Brookthorpe Road, Bury, BL8 3AB

**Proposal:** Two/single storey rear extensions; Alterations to roof and windows

**Application Ref:** 66423/Full

**Target Date:** 23/03/2021

**Recommendation:** Approve with Conditions

**This is a householder application that has been called in for determination by the Planning Control Committee.**

**At the previous Planning Control Committee a site visit was requested prior to determination at this Committee.**

### **Description**

The application relates to a two storey detached house situated within a large garden on an unadopted residential cul-de-sac, off Walshaw Road to the south of Walshaw.

The access to the house is in the north west corner of the plot where gates open onto the driveway at the front of the house. The attached neighbour at No.5 has a single storey extension at the rear, projecting out approximately 4m along the shared side boundary. The neighbour at No.9 has previously been extended up to the side boundary with the site and has a landing window on the gable at first floor.

The proposed extensions are as follows:

The first floor, dormered section of the existing house would be extended to form a full first floor level with a new hipped roof over the house.

At the rear, on the east side, the existing conservatory would be demolished and a part two/part single storey extension constructed that would project out 6.2m to the line of the existing rear/east elevation. On the north side of the house, there would be a single /two storey extension.

Beyond the line of the existing rear/east elevation, there would be a new flat roof single storey extension and a two storey extension at the south-east corner of the house.

The extended house would be rendered with the roof tiled. The extension would facilitate larger dining and kitchen areas at ground floor and a new bedroom and en suite/ bathroom facilities.

### **Relevant Planning History**

N/A

### **Publicity**

Immediate neighbours notified by letters dated 27/01/2021(initial plans), 17/03/2021 and 31/03/2021 (revised plans).

Objections were received with regard to the initial plans from the following addresses: Nos.461, 463, 465 and 467 Walshaw Road and No.2 Brookthorpe Road

- Loss of privacy - the proposed two storey extension will overlook our property as it will be much closer due to the proposed increase in size. The addition and increase in numbers

and size of windows than is currently in place both on ground and proposed first floor elevation will result in the loss of our privacy.

- The proposed extensions size is overwhelming and will result in loss of light.
- The removal of the double garage reduces the number of off-road parking spaces that will have an adverse impact on road safety. Cars will be forced to park on the narrow, private road increasing risk for motorists and pedestrians as there is no pavement.
- The proposed development will also change the character of the neighbourhood as the existing building has its own special charm. This will not be the case with the proposal as it stands.
- The proposed extensions will be much closer to our property and as a result we will incur an increase in noise.
- I object to the building application on the grounds of light. It will have a devastating effect on the South elevation of my property casting my house into shadow all year round.
- The proposed building will be 7.084 metres high and will be extremely close to the boundary of my land. I object to the roof design shown in the plan, it is flat and does not conform to the overall style of the existing house.
- I am concerned also what effect Construction traffic will have to the surface of the private road (Brookthorpe Rd) and what safeguards we have that the contractors will make good any damage to the road if such plans are passed to build the proposed extensions.
- The height of the extension will cause a loss of enjoyment of our garden as it will be left entirely and constantly shaded, and a loss of amenity to our home as it will significantly block daylight to the rear ground floor.
- The plans lack sensitivity to the appearance and character of the house and other existing properties in the area. The size of the house will be almost doubled, thus becoming out of scale and overdeveloped. Its new height will dominate and loom over other houses.
- Brookthorpe Road is a narrow, private road. Residents do not park on the road as it restricts access. The plans get rid of the existing garage and do not replace it, resulting in insufficient off road parking remaining for a house of this size.
- Brookthorpe Road is tree lined and open. The extension will have a significant visual impact on the area, blocking light and views and resulting in a loss of amenity for the neighbourhood.
- The owners must be required to pay for any damage caused to the private road.
- The double extension is exceedingly close (approx 50 cms according to plan scale) and the single extension approx 1 metre from the boundary of our garage and outbuilding at the closest points. The increased proximity and size would be out of scale and overbearing in relation to our existing houses, affecting our visual amenity and that of the immediate area.
- The proposed plan appears to include the partial/full removal of the outbuilding which is connected to our tandem garage. In addition to the close proximity of the extension, we are concerned about this will effect the integrity of our foundations.
- Insufficient parking due to garage removal.

One comment in support received from the occupier of 2 Holbeach Close.

- The proposed plans are not too significant compared to the existing. The height of the house is staying the same as the existing and not changing whatsoever.
- Looking at the satellite view on google maps there is ample space at the front of the property in the driveway for parking cars so there is no blockage of the private road.
- The double storey extension is getting built within the same perimeter of the existing building so I can't see that making a difference to the light.
- Privacy wise most of the windows on the east elevation are pre-existing on the current building.
- The existing house is very outdated and is definitely in need for some cosmetic love.

Following renotification of revised plans the occupiers of No.465 Walshaw Road:

- The revised plan will still cause significant loss of daylight to the rear ground floor of our home and shading to our garden as a result of the first storey addition to the East

elevation.

- The window on the North elevation for the bathroom is shown as a standard half opening window with the bath directly below it. My children's bedrooms will look down into the proposed window and into the bath and therefore this window should be of restricted opening and the glazing obscured/frosted.
- The revised plans still do not pay regard to the individuality, proportions and character of the original 1930s building, to the detriment of the neighbourhood. In particular, architectural features such as the inset windows at the front to the property have been eliminated and replaced with bland, oversized panes of glass.
- This is still a speculative plan to overdevelop a unique property rendering it materially changed in its design and scale and devoid of its original character.

Following publication of the officer report, the occupier of 465 Walshaw Road has submitted further comments.

The officer report relies very heavily on the suggestion that there will be no loss of visual amenity in the area due to screening provided by substantial hedges along the side and front boundaries to 11 Brookthorpe. These hedges are mentioned several times in your report; the hedge that borders the edge of Brookthorpe Road is of mixed planting, including conifer and rhododendron, and the one to the side is conifer. However, no provision has been made in your report that the owners and occupiers of the property must retain and maintain these existing hedges at a height to preserve the screening element.

Therefore, in order to save time and discussion at the meeting, I wonder if your report could be amended in advance to include a Condition to this effect to ensure that this hedging and screening is not removed should the alterations be approved?

The occupiers of 463 Walshaw Road have also made a further representation, maintaining their objection with regard to overlooking and requesting a site visit.

Those making representations have been notified of the Planning Control Committee.

### **Statutory/Non-Statutory Consultations**

None relevant.

**Pre-start Conditions** - None relevant.

### **Unitary Development Plan and Policies**

NPPF	National Planning Policy Framework
EN1/2	Townscape and Built Design
H2/3	Extensions and Alterations
HT2/4	Car Parking and New Development

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:

The elimination of discrimination, harassment and victimisation;

The advancement of equality of opportunity between persons who share a relevant

protected characteristic and person who do not share it;  
The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, it is concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

**The Crime and Disorder Act 1998** imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the material Planning considerations shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

**Visual amenity** - The house sits within a large plot surrounded by other residential properties. The house is partly screened from the road by a substantial conifer hedge at the front. Although the proposed alterations and extensions are substantial and move away from the Arts and Crafts style of the original house, the house has already been substantially extended and in terms of scale, the proposed alterations would not be significantly out of keeping within what is a large residential plot. In terms of appearance, the extended house is surrounded by a mix of house styles and would not be particularly prominent from the road or longer range views from the public arena due to substantial mature boundary planting along the frontage with Brookthorpe Road to the west. Views from properties to the rear/east and side/south would be significantly screened by existing boundary planting. The extended house would be viewed from neighbours properties situated to the north although the views are across existing gardens with outbuildings in between at distances of around 20m.

Given the size and position of the extended house, in terms of visual amenity the proposal would be acceptable and complies with UDP Policy H2/3 Extensions and Alterations and associated guidance document SPD6 Alterations and Extensions.

**Residential Amenity** - In terms of residential amenity, the main impact on neighbours would be on the north side where the extensions are closest to the northern boundary with properties 463 to 467 Walshaw Road. The original plans indicated a full two storey element adjacent to the boundary. Following concerns raised that this element would appear rather overdominant in relation to the neighbours to the north, the plans were amended to move the first floor element away from the north side to the south-east corner of the house.

In terms of distances between properties, there would be approximately 20m between the

rear elevation of No.465 Walshaw Road and the side of the extended house. In between, at the end of the garden of No.465 is a detached garage. There is a similar separation distance between the rear of No.463 and the two storey extension at the rear of the house, also with a garage in between. With the extended house directly to the south of the properties on Walshaw Road, the impact on the garden areas with regard to the sun's aspect and overshadowing would not be so significant as to warrant refusal.

With regard to privacy and overlooking, there are no new habitable room windows that would be facing directly into neighbouring properties to the north. The new first floor window would be an obscure glazed bathroom window. The new windows at the rear would overlook the existing large garden area and would not cause any issues. A condition would ensure that the side bathroom window would remain obscure glazed.

Given the above, the proposal is considered to be acceptable and compliant with UDP Policy H2/3 Extensions and Alterations and supplementary guidance document SPD6.

**Parking and access** - The existing access would be retained and whilst the proposal involves the conversion of the existing integral garage, there is sufficient space to the front of the house to park at least two cars. This arrangement is considered acceptable and complies with UDP Policy H2/3 Extensions and Alterations with regard to access and parking.

**Public Representations** - The planning issues raised by the objectors have been addressed in the above report. Issues relating to the boundary and structure would be addressed by the Party Wall Act rather than planning regulations.

Whilst the report indicates that there is a mature conifer screen along the frontage which reduces the impact of the house on the streetscape, it would be considered over restrictive to attach a condition requiring the hedge to be retained. Even without boundary screen planting, it would be difficult to support a reason for refusal on these grounds.

### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

### **Conditions/ Reasons**

1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered Existing 001, A1317(02)001/G and 002A and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. Details/Samples of the (materials/bricks) to be used in the external elevations, together with details of their manufacturer, type/colour and size, shall be submitted

to and approved in writing by the Local Planning Authority before the development is commenced. Only the approved materials/bricks shall be used for the construction of the development.

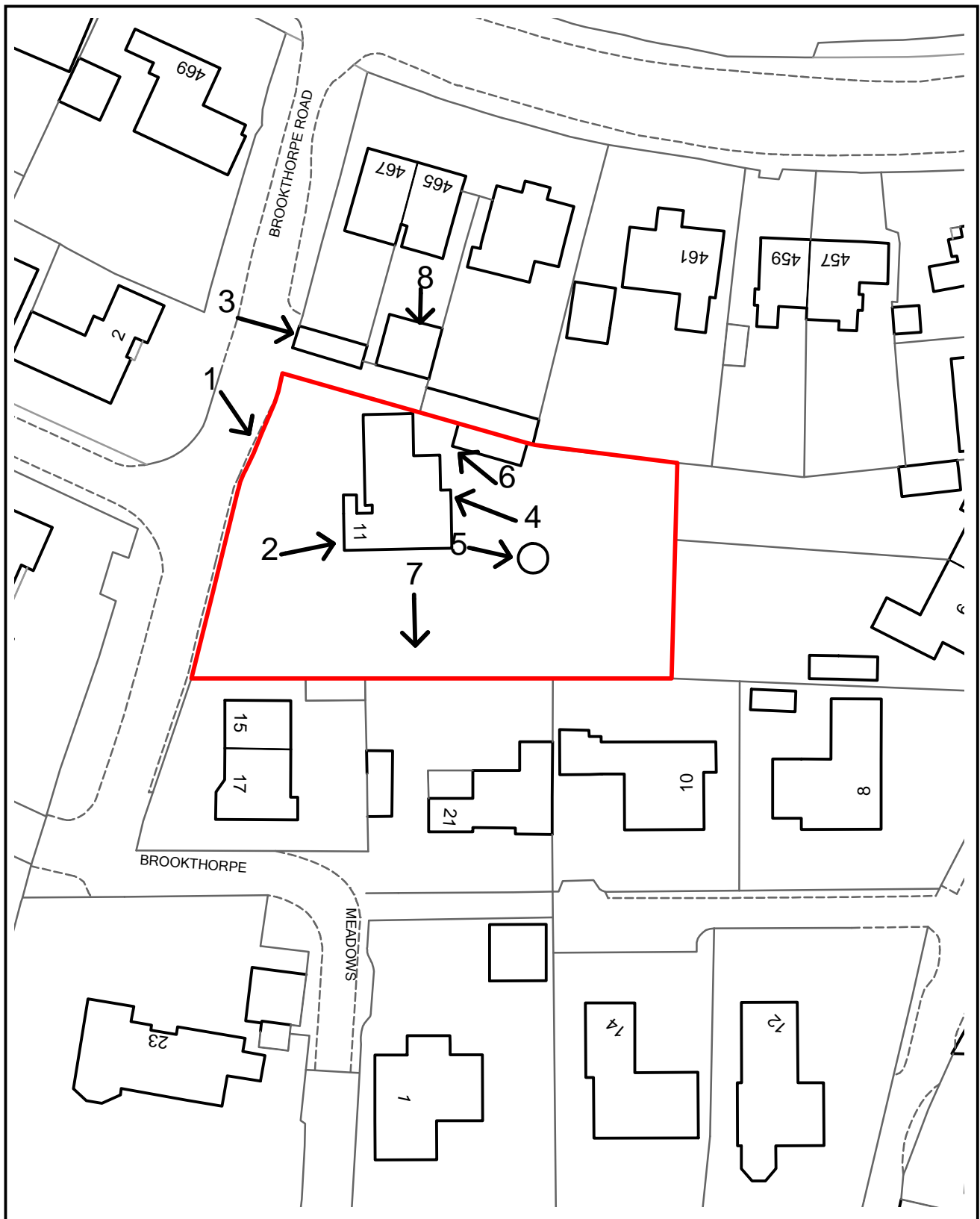
Reason. No material samples have been submitted and are required in the interests of visual amenity and to ensure a satisfactory development pursuant to UDP Policy EN1/1 Visual Amenity.

4. Before the first occupation of the extension hereby permitted the first floor bathroom window on the north elevation shall be fitted with obscured glazing (min obscurity level 3) and non-opening below 1.7m (from floor level) and shall be permanently retained in that condition thereafter.

Reason. To protect the privacy of adjoining occupiers and to accord with Policy H2/3 - Extensions and Alterations of the Bury Unitary Development Plan and Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66423**

**ADDRESS: 11 Brookthorpe Road  
Bury**

**Planning, Environmental and Regulatory Services**

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**Bury**  
COUNCIL

66423

Photo 1



Photo 2



Photo 3



Photo 4



Photo 5



Photo 6



Photo 7

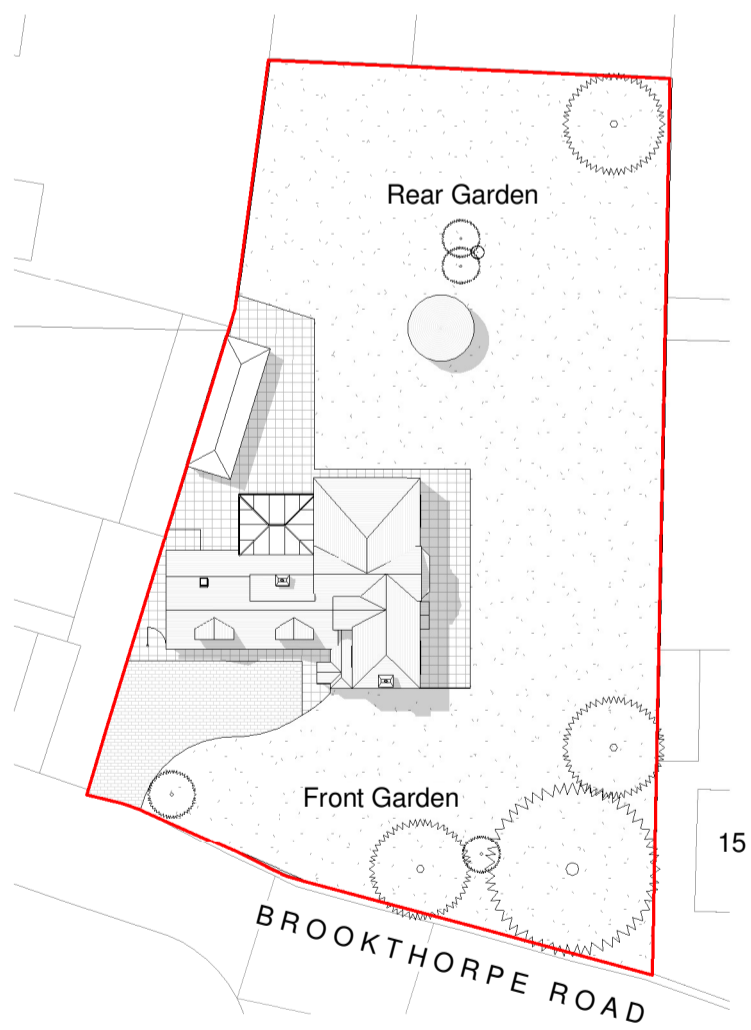


Photo 8

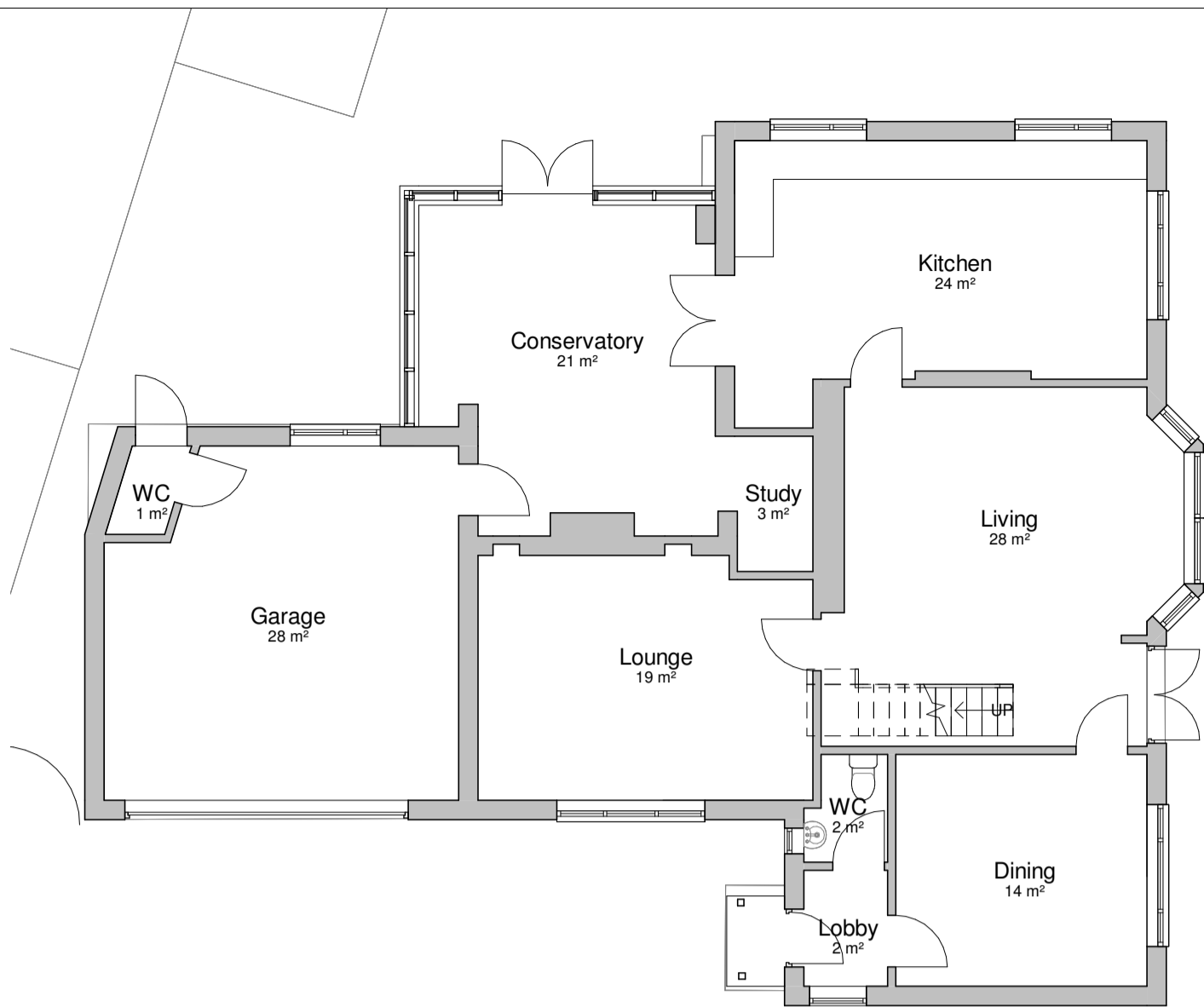




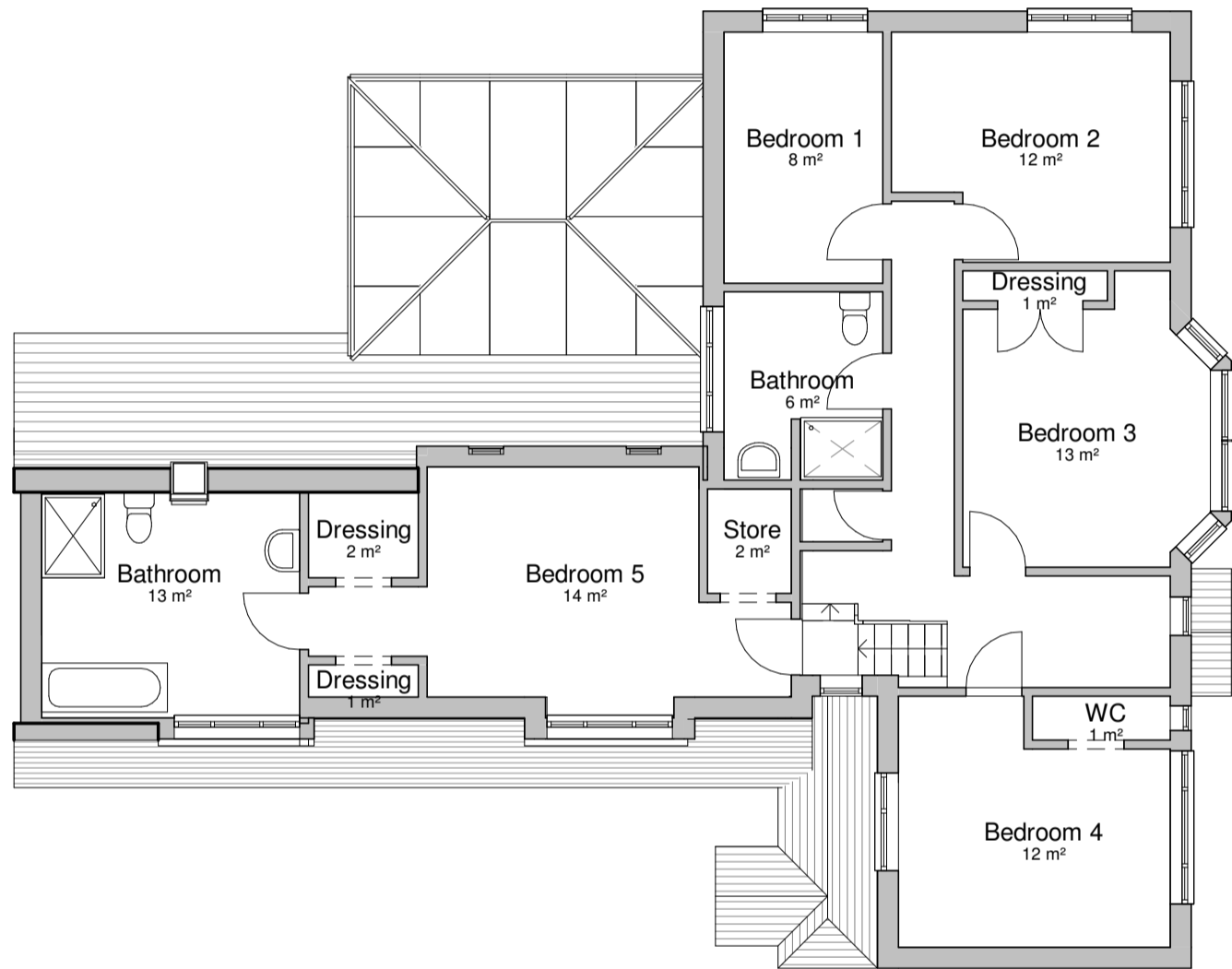
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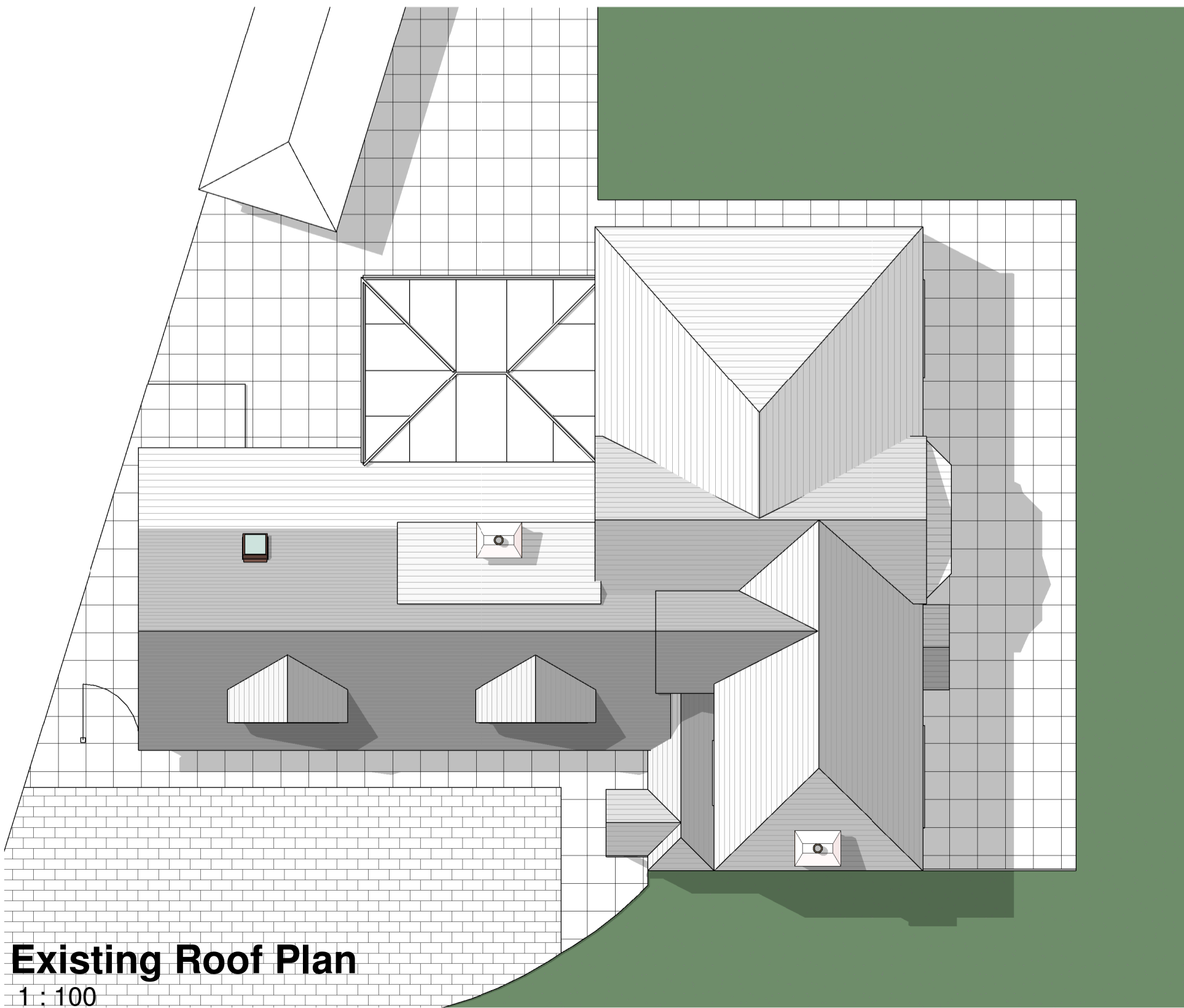
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Existing Ground Floor Plan  
1 : 100



Existing First Floor Plan  
1 : 100



Existing Roof Plan  
1 : 100



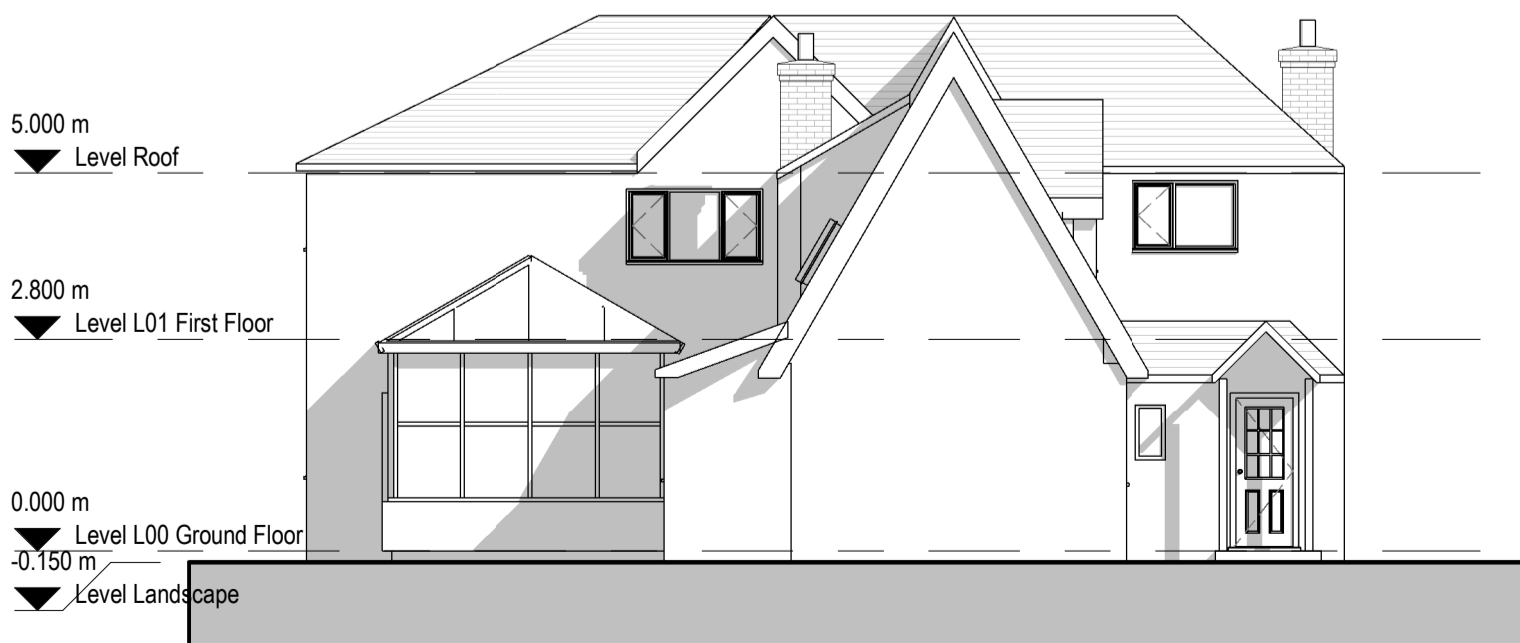
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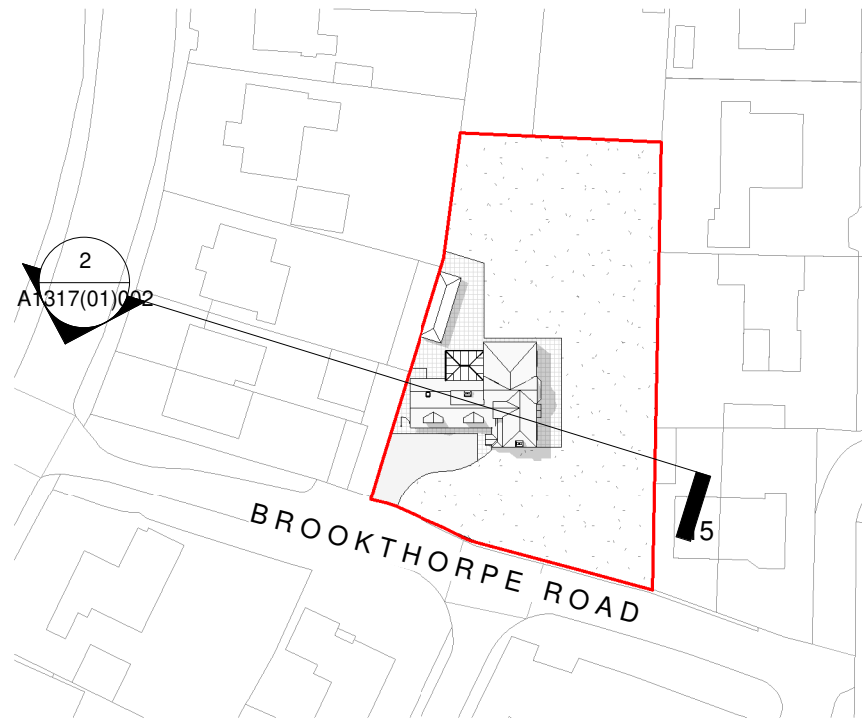
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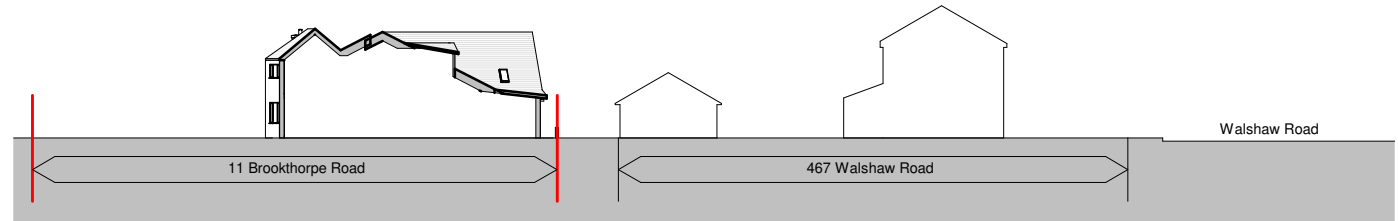
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Existing North Elevation  
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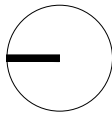


**1 Key Plan**  
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**2 Existing Site Section**  
1 : 500

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05/03/21 SA SH Initial Issue  
No. Date Dwn Chk App Revision or reason for issue

Client  
Omar Akram

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Architects & Designers

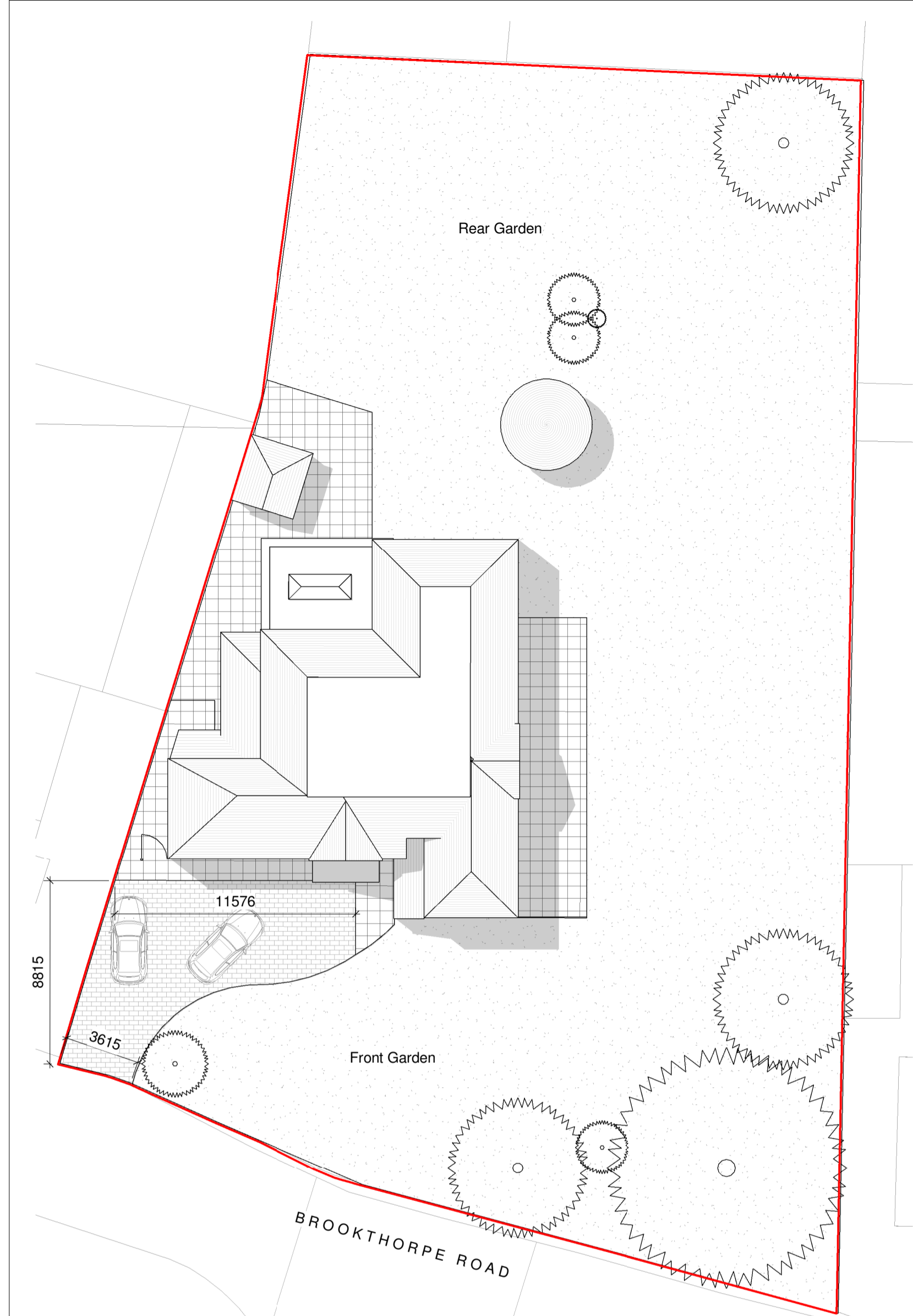
Create It Studios (NW) Ltd  
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0161 974 6165  
www.createitstudios.co.uk  
info@createitstudios.co.uk

Project Title  
11 Brookthorpe Road, Walshaw,  
Bury, BL8 3AB

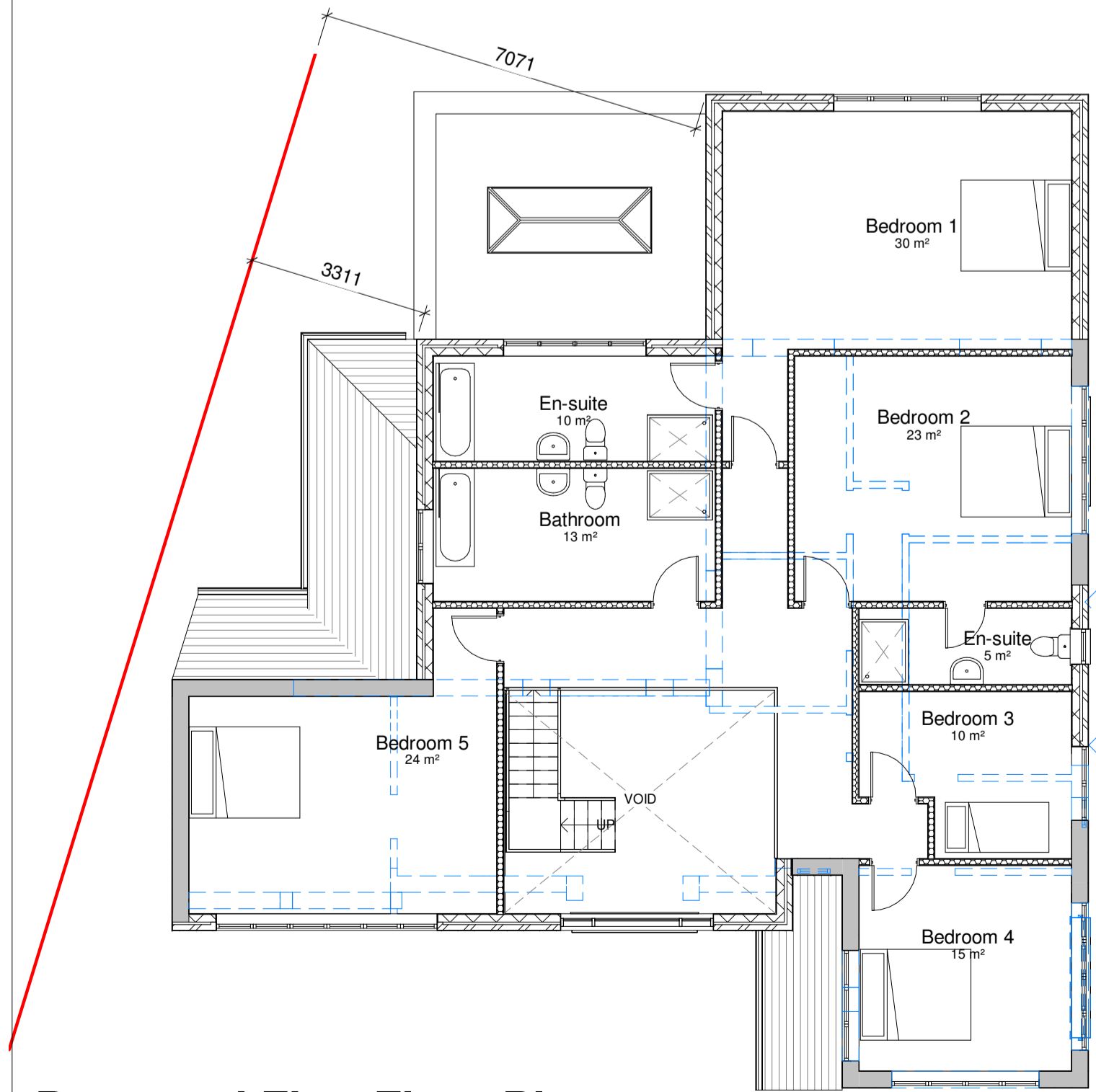
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Drawing Title  
Existing Site Section

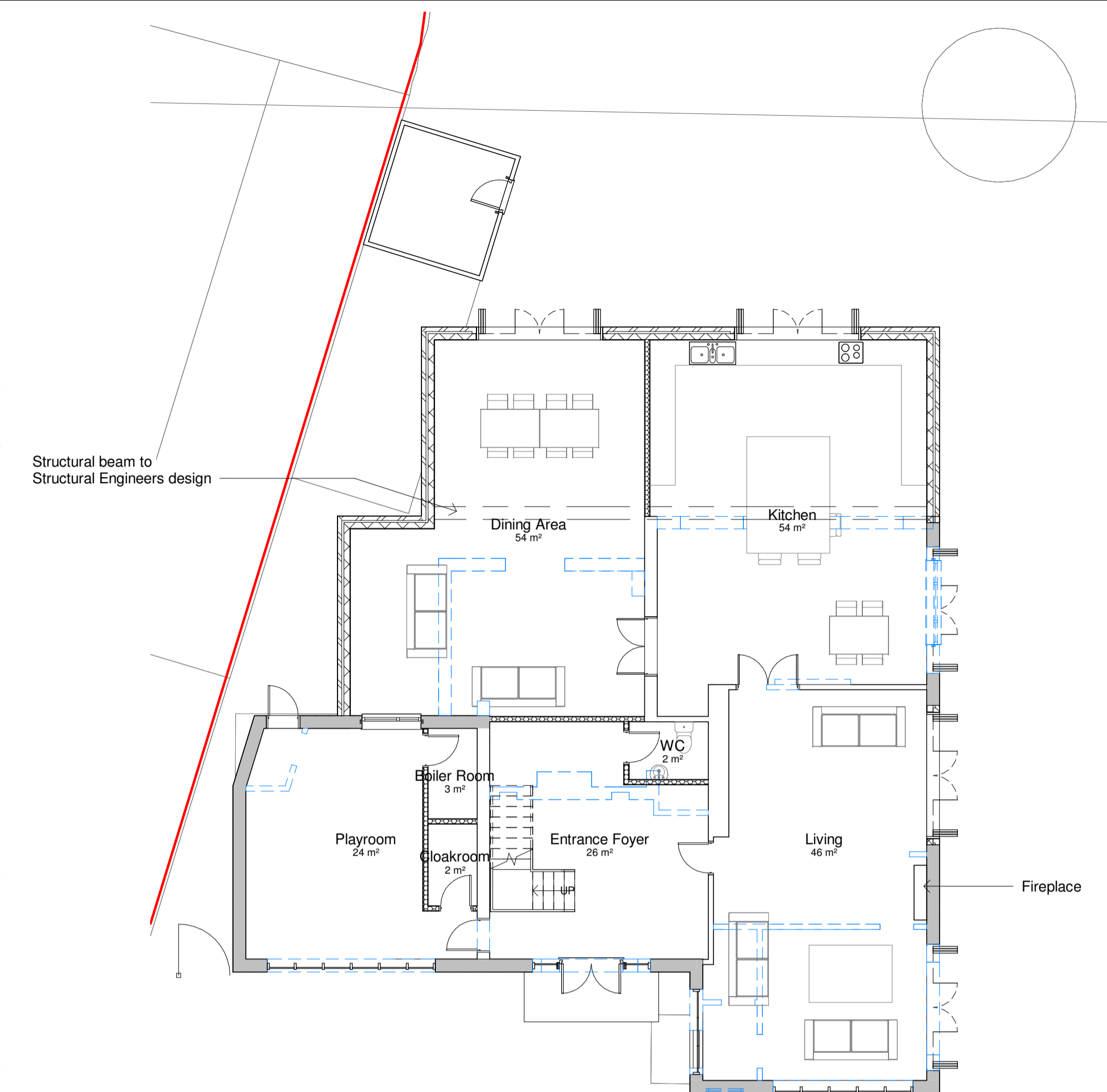
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Drawing Status  
Preliminary  
Revision  
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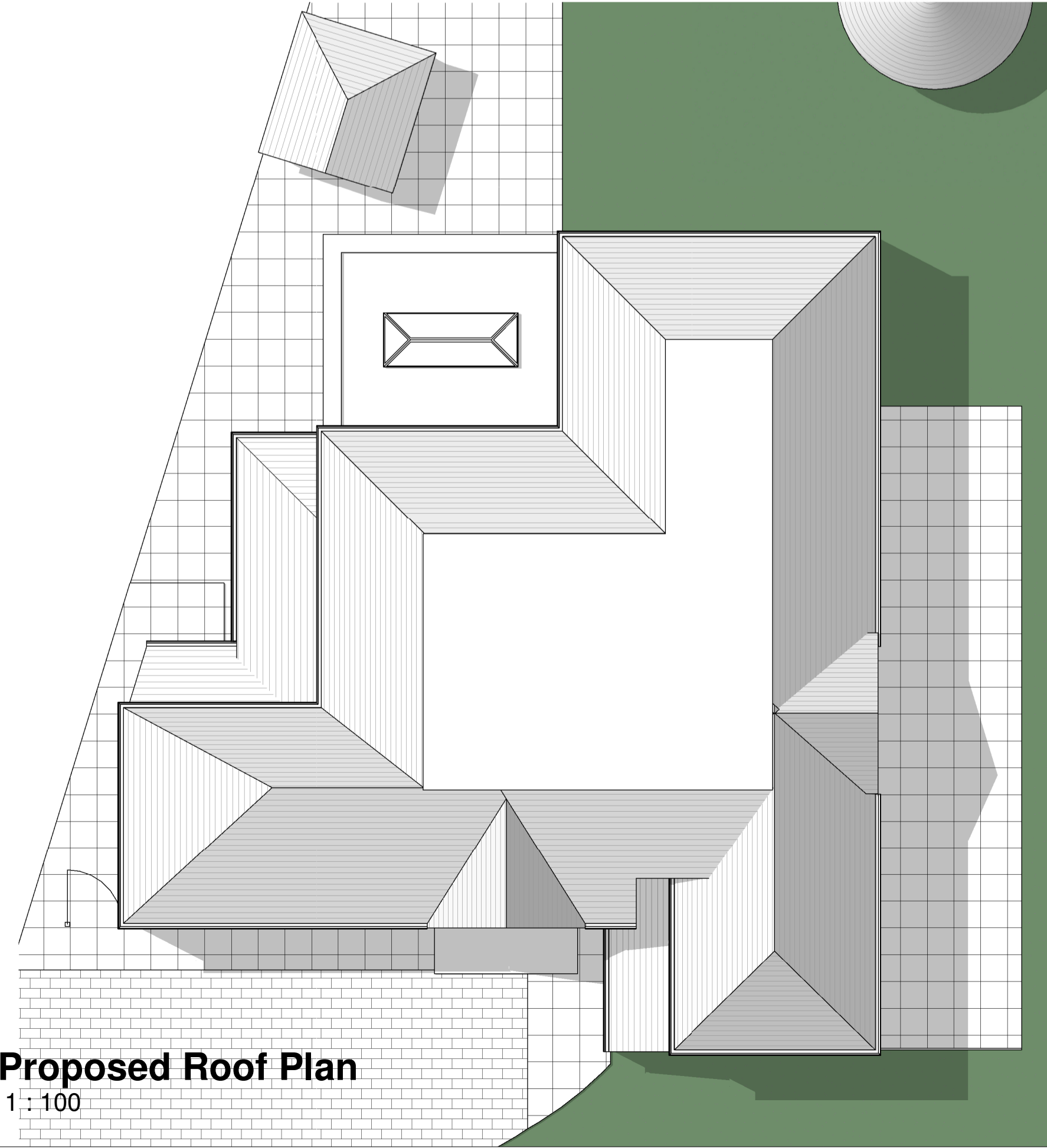
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Proposed First Floor Plan  
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Proposed Ground Floor Plan  
1 : 100



Proposed Roof Plan  
1 : 100



Proposed West Elevation  
1 : 100



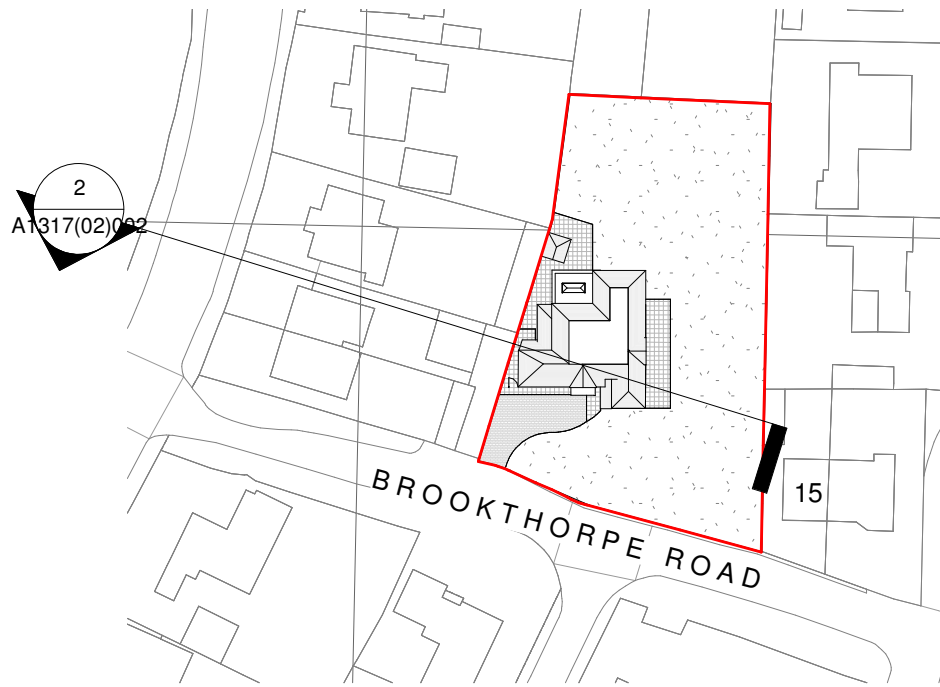
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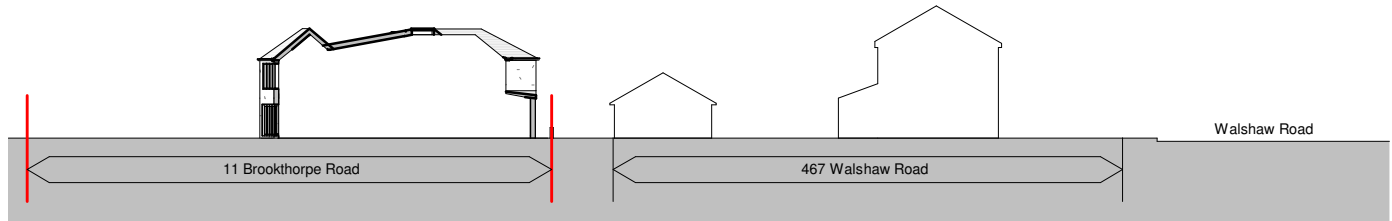
Proposed East Elevation  
1 : 100



Proposed North Elevation  
1 : 100



1 Key plan  
1 : 1000



2 Proposed Site Section  
1 : 500

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A 15/03/21 SA SH Amended section  
- 05/03/21 SA SH Initial Issue  
No. Date Dwn Chk App Revision or reason for issue

Client  
Omair Akram

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Project Title  
11 Brookthorpe Road, Walshaw,  
Bury, BL8 3AB

Scale / North Point  
As indicated

Drawing Title  
Proposed Site Section

Drawing Number  
A1317(02)002  
Drawing Status  
Preliminary  
Revision  
A

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**Ward:** Prestwich - Sedgley

**Item** 03

**Applicant:** Shaarei Mordechai Synagogue

**Location:** Shaarei Mordechai Synagogue, 76 Bury New Road, Prestwich, M25 0JU

**Proposal:** Variation of condition 13 following approval of planning permission 45841- Change opening hours from 07:00 - 23:00 to 06:00 - 00:00

**Application Ref:** 66854/Full

**Target Date:** 22/06/2021

**Recommendation:** Approve with Conditions

### **Description**

The application relates to a synagogue on the corner of Bury New Road and Queens Drive/Sedgley Park Road. The site has two vehicular access points, one from the Queens Road end and one further south next to 74 Bury New Road. There is a hardstanding on the Bury New Road side with space to park 3/4 cars.

The area is characterised by a mix of uses with an office block across the road to the north and the police college to the east. There are residential properties directly to the south with district centre commercial units and telephone exchange on the opposite side of Bury New Road to the west.

The original planning permission for the synagogue (Ref:45841) was approved in 2002 and condition 13 of the approval restricted opening hours to 07.00- 23.00hrs.

A subsequent application to extend the opening hours from 6am to midnight was refused in 2019 on grounds that it would have an unacceptable impact on the residential amenity of neighbours.

This application is a resubmission of the application to extend the existing approved opening hours an extra hour in the morning and also at night with proposed opening from 06.00 to 24.00hrs (midnight).

The application was accompanied by a supporting statement. It states that the opening hours are no longer suitable in that there is now a greater demand for earlier prayers, particularly in the period prior to the Jewish New Year (Rosh Hashanah) and up to Yom Kippur - this occurs at slightly different times each year but usually for a two week period September/October. The applicant also states that the building has been used for private study before 7am and after 11pm for a number of years. Prayer sessions are not accompanied by music and there is no singing apart from the Sabbath. It is noted that there is no permission for this nor any claim formalised via a lawful development certificate under s191 of the Town & Country Planning Act.

An acoustic report (KP Acoustics Ltd) was also submitted with the application. Detailed results of the assessment can be found on the planning application file on the Council's website. The main points of the report are set out below:

- The survey at the Synagogue covered the assessment of daytime and night-time levels at noise sensitive receivers near the synagogue during its proposed extended operating hours and a noise break-out calculation was undertaken in relation to the proposed synagogue extended operating hours.
- It is understood that activity within the synagogue and auxiliary building in its extended opening hours of 06:00-07:00 and 23:00-24:00 is not likely to exceed 120 attendees.

- Access to the synagogue premises is located through doors on the north and east facades. Access to the function room is located between the synagogue and function rooms buildings, the door for which is set back from the road.
- The attendees would be accessing the site individually, therefore it is not expected any group of attendees larger than 4 standing at any elevation in these hours. Furthermore, the existing noise profile of the area would partially mask any typical speech at the entrance of the community centre, and therefore patron noise would not negatively impact the amenity of the closest residents.
- It is understood that amplified music and speech is not played within the synagogue or its function room.
- The predictions show that noise break-out is expected to be below the measured representative background noise levels and to comfortably meet the most stringent recommendations of the relevant British Standard.
- No further mitigation measures should be required in order to protect nearby residential dwellings from external noise intrusion from the synagogue.

### **Relevant Planning History**

45841 - Construction of new synagogue & mikveh and extension to existing synagogue (amended scheme) - Approved 04/04/2002.

64341 - Extension of opening hours 7am to 6am and 11pm to 12 Midnight - Refused 29/08/2019

### **Publicity**

Surrounding neighbours and previous objectors (64341) - Objections received from the following properties Nos.1 and 2 Queens Drive and 25 Rochester Avenue. concerns are summarised:

- There is already considerable noise from car doors banging before 7am and well after midnight and parking is limited.
- Worshipers have conversations late at night and early morning outside the house disrupting our sleep. To have the synagogue operating longer hours will be a further disruption to our everyday lives.
- Surely consideration should be given to all residents in the area including those who are not members of the synagogue.
- I have been told, on more than one occasion, by several congregants that no matter what objections I might have "they have people on the council who will pass their request". If this is so, it also implies there could be a concerted effort to drive non Jewish members of the community out of the area. Having lived here in our home for 45 years that indication is outrageous.

103 representations have been received from properties within the Prestwich area in support of the proposal, generally stating that the extended opening and closing for the synagogue would benefit the congregation and wider Jewish community.

All those making representations have been notified of the Planning Control Committee.

### **Statutory/Non-Statutory Consultations**

Environmental Health (Pollution Control) - No objection subject to a condition for restricting the additional hours to the limited festivals.

### **Pre-start Conditions - N/A**

### **Unitary Development Plan and Policies**

NPPF	National Planning Policy Framework
EN7/2	Noise Pollution
CF1	Proposals for New and Improved Community Facilities
H3/1	Assessing Non-Conforming Uses

### **Issues and Analysis**

The following report includes analysis of the merits of the application against the relevant policies of both the National Planning Policy Framework (NPPF) and the adopted Bury Unitary Development Plan (UDP) together with other relevant material planning considerations. The policies of the UDP that have been used to assess this application are considered to be in accordance with the NPPF and as such are material planning considerations. For simplicity, just the UDP Policy will be referred to in the report, unless there is a particular matter to highlight arising from the NPPF where it would otherwise be specifically mentioned.

**Equality Act 2010:** All planning applications are considered in light of the Equality Act 2010 and associated Public Sector Equality Duty, where the Council is required to have due regard for:

The elimination of discrimination, harassment and victimisation;

The advancement of equality of opportunity between persons who share a relevant protected characteristic and person who do not share it;

The fostering of good relations between persons who share a relevant protected characteristic and person who do not share it; which applies to people from the protected equality groups.

**Human Rights:** All planning applications are considered against the provisions of the Human Rights Act 1998.

Under Article 6 the applicants (and those third parties who have made representations) have the right to a fair hearing and to this end full consideration will be given to their comments.

Article 8 and Protocol 1 of the First Article confer a right to respect private and family life and a right to the protection of property, ie peaceful enjoyment of one's possessions which could include a person's home, and other land and business assets.

In taking account of the Council policy as set out in the Bury Unitary Development Plan 1997 and all material planning considerations, it is concluded on balance that the rights conferred upon the applicant/ objectors/ residents/ other interested party by Article 8 and Article 1 of the First Protocol may be interfered with, since such interference is in accordance with the law and is justified in the public interest. Any restriction of these rights posed by refusal/ approval of the application is legitimate since it is proportionate to the wider benefits of such a decision, is based upon the merits of the proposal, and falls within the margin of discretion afforded to the Council under the Town & Country Planning Acts.

**The Crime and Disorder Act 1998** imposes (without prejudice to any other obligation imposed on it) a duty upon the Council to exercise its functions and have due regard to the likely effect of the exercise of its functions on, and the need to do all that it reasonably can to prevent crime and disorder in its area. In so doing and on making planning decisions under the Town and Country Planning Acts, the material Planning considerations shall have due regard to the provisions of the Crime and Disorder Act 1998 and its implications in the exercise of its functions.

**Need** - The critical factor in assessing this proposal is whether the need for, and benefits accruing to, the extended opening hours outweigh the detrimental impact caused by the noise and disturbance to neighbours.

The applicant states that the hours conditioned by the original consent back in 2002, are not appropriate to the current demand by patrons for earlier prayers and later prayers and study.

**Extended hours/ Impact on Residential Amenity** - It is important that the religious/cultural needs of the any community are recognised and catered for. It is also important that the residential amenity of existing residents is also taken into consideration and balanced.

There are in general, two areas where conflict with neighbour amenity could occur - noise and disturbance from patrons arriving and leaving the synagogue and from noise from within the building.

Given the findings of the acoustic report, it is not considered that there would be significant noise outbreak from the building during prayer times to cause a serious problem to neighbouring residents.

With regard to noise and disturbance from external areas, this would most likely come from patrons coming and going and by definition is more difficult to assess. The main access is on the north side of the building, a short distance from the nearest neighbours on Bury New Road and Queens Drive. Although a proportion of patrons visiting the synagogue during the earlier and later opening periods would be attending on-foot, it is reasonably assumed that a proportion of patrons visiting the synagogue, either for prayer or study, would come by car and park on surrounding roads, given the limited on-site parking. As already stated, if patrons are parking on residential roads such as Queens Drive or Rochester Road, the comings and goings (engine noises, car doors/gates banging etc) would, it is considered cause a certain amount of noise and disturbance during the generally quieter periods before 7am and after 11pm. Given that the surrounding roads are usually 'parked up' with resident's cars and visitors to the nearby police training college, the parking/ manoeuvring is likely to be to be extended. Furthermore, it is probable that there would be people arriving before these times to prepare the synagogue for opening, thereby diminishing the 'quiet time' even further.

It is considered that the existing opening hours of the synagogue, from 7am to 11pm are appropriate to it's site and surroundings and later opening throughout the year, would cause significant harm to the residential amenity of neighbours. In recognition of the issues here, a degree of mitigation could be achieved and be more acceptable in terms of residential amenity to restrict the extended opening periods to those related to the religious festival period between Jewish New Year (Rosh Hashanah) and Yom Kippur and the period of late sundown in June and early July only. All other times of the year, normal prayer and study times would be restricted to those previously approved under the original application. This can be achieved by attaching a suitable condition to this effect. Extending the opening throughout the year for patrons who want to study later is not considered acceptable. This approach is supported by Environmental Health as they consider that the external activities or arriving/departing is where the likely noise source would be generated.

With the proposed condition, restricting opening to the two specific periods in June/July and September/October referred to above, the proposal is considered, on balance, to be acceptable and complies with the National Planning Policy Framework and UDP Policies EN7/2 Noise Pollution, H3/1 Assessing Non-Conforming Uses and CF1 Proposals for New and Improved Community Facilities as there would be a substantial element of protected time daily and throughout the rest of the year.

**Objections** - The concerns of the neighbours with regard to noise and disturbance are addressed in the above report.

#### **Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The Local Planning Authority worked positively and proactively with the applicant to identify various solutions during the application process to ensure that the proposal comprised sustainable development and would improve the economic, social and environmental conditions of the area and would accord with the development plan. These were incorporated into the scheme and/or have been secured by planning condition. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

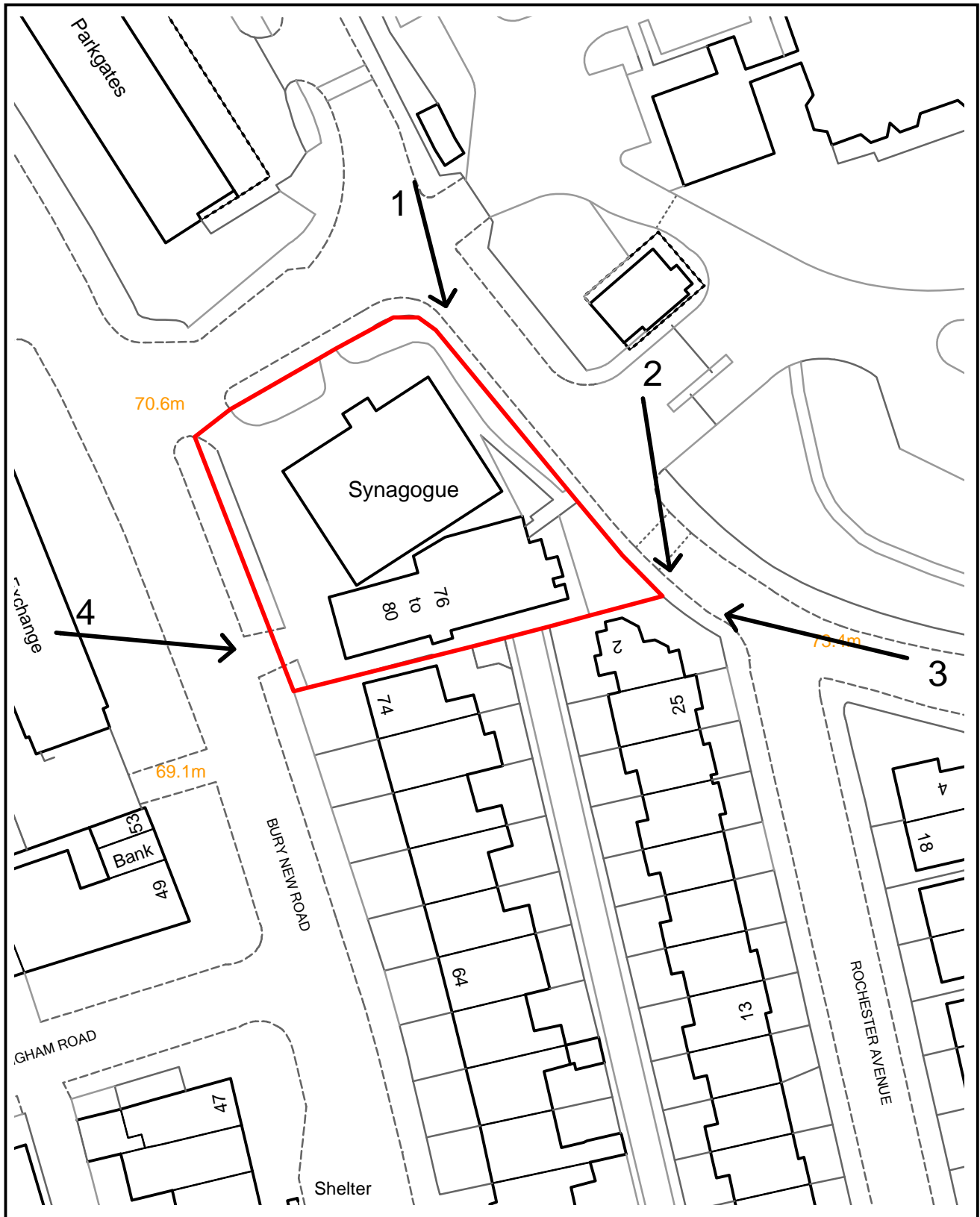
## Conditions/ Reasons

1. The opening times for the Synagogue shall be :-
  - 0600hrs to 0000hrs (Midnight) restricted to those dates indicated in the Selichos Calendar (submitted as additional information on 3/06/2021 and reproduced within the informatives attached to this decision); and for the period 1st June to 10<sup>th</sup> July for late evening prayer (Maariv); and
  - For all other times, 0700hrs to 2300hrs (in accordance with the original approval (45841)).

Reason. In the interests of residential amenity pursuant to UDP Policies EN7/2 Noise Pollution and CF1 New and Improved Community Facilities.

For further information on the application please contact **Tom Beirne** on **0161 253 5361**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66854**

**ADDRESS: Shaarei Mordechai Synagogue  
76 Bury New Road**

**Planning, Environmental and Regulatory Services**

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**Bury**  
COUNCIL

66854

Photo 1



Photo 2



66854

Photo 3

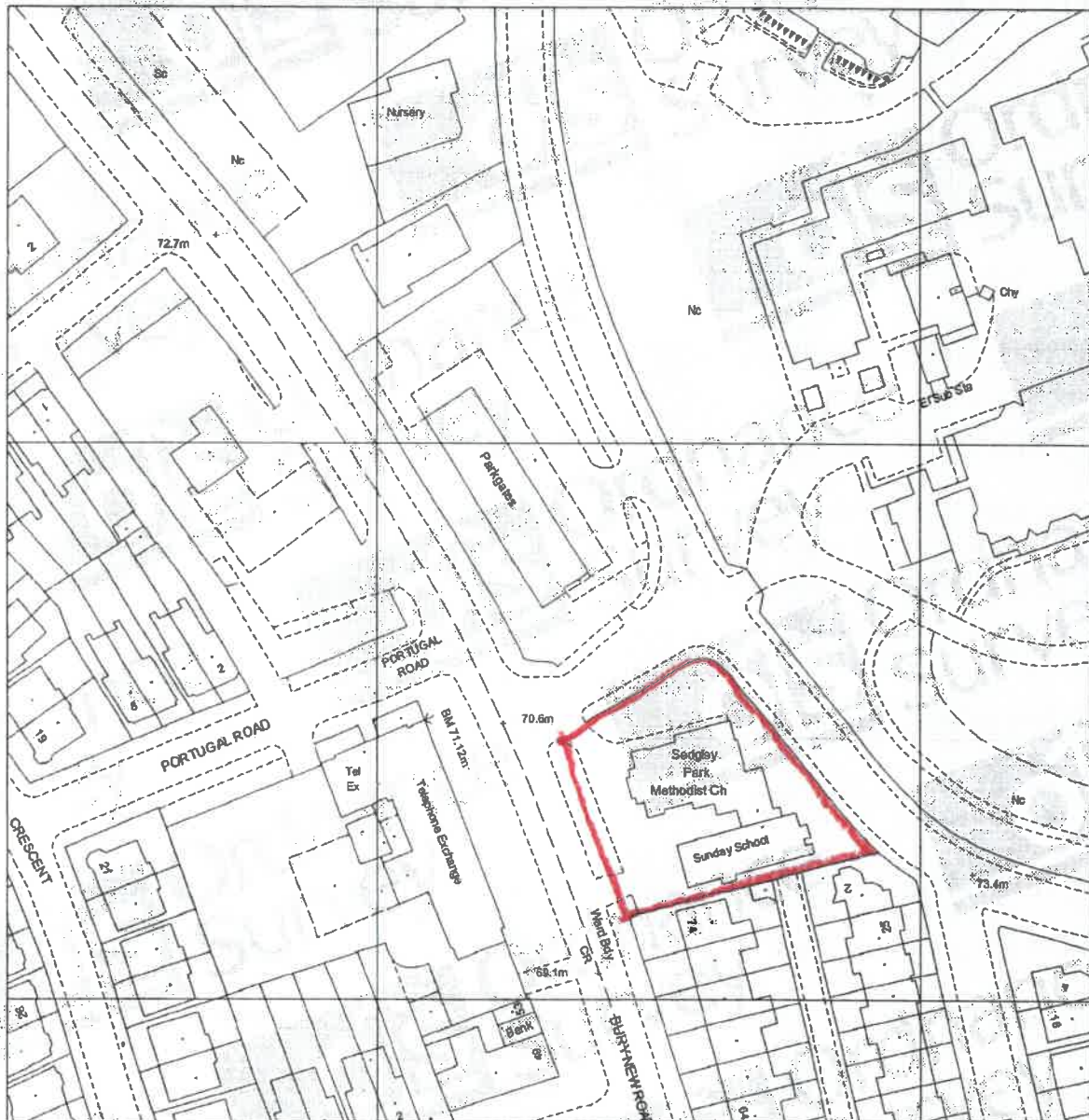


Photo 4



# Siteplan®

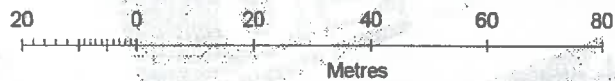
1:1250 Scale



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**76 BURY NEW ROAD, PRESTWICH  
MANCHESTER  
M25 0JU**

Centre coordinates : 382032mE 402678mN

National Grid sheet reference at centre of this Siteplan: SD8202NW.

Supplied by : Waterstone's, Manchester  
Serial Number : 992274

## 20 year Calendar of Selichos

The first date is the Sunday (or Sunday week) before Jewish New Year. The second date is Yom Kippur eve (day before Day of Atonement)

2021 29 August – 15 September  
2022 18 September - 4 October  
2023 10 September – 24 September  
2024 29 September – 11 October  
2025 14 September - 1 October  
2026 6 September – 20 September  
2027 26 September – 10 October  
2028 17 September – 29 September  
2029 2 September – 18 September  
2030 22 September – 6 October  
2031 14 September - 26 September  
2032 29 August – 14 September  
2033 18 September – 2 October  
2034 10 September -22 September  
2035 30 September – 12 October  
2036 14 September – 30 September  
2037 6 September - 18 September  
2038 26 September – 8 October  
2039 11 September - 27 September  
2040 2 September – 16 September

nightfall

**Manchester** מנצ'סטר

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Table 8a (continued)

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**Ward:** Whitefield + Unsworth - Unsworth

Item 04

**Applicant:** Mr Adrian Goldstone

**Location:** 23 Hillsborough Drive, Bury, BL9 8LE

**Proposal:** Change of house type to include rear dormer extension

**Application Ref:** 66928/Full

**Target Date:** 24/06/2021

**Recommendation:** Approve with Conditions

### **Description**

The site is a corner plot on a residential estate where works have commenced on a new dwelling approved under planning consent 64741, which was approved by the Planning Control Committee in December 2019.

The demolished building was a bungalow and the end one in a row of similar bungalows. The garden extends to the side and rear and is fenced with planting to the outside of the fencing along the side boundary. The rear garden borders an electricity sub station and part of the rear boundary with 2 Leeds Close, a two storey detached house with a single storey extension at the rear. A small section also borders the corner of the rear garden to 4 Leeds Close.

The neighbouring property to the side is No.25 a bungalow which is slightly lower in levels, which has an integral garage at the front located closest to the boundary. Opposite, to the front across the road, are two storey detached houses and to the side, across the street 21 Hillsborough Drive is a detached bungalow.

This application seeks to amend a part of the approved design. The proposal would follow the footprint and height of the previously approved dwelling. The change involves the addition of a 3m wide dormer to the rear roof slope to form a sitting room and the room formerly noted as a store to the first floor at the front, would now be a bedroom.

The amended design would still be a dormer bungalow with eaves to the same height as the original bungalow and the ridge 1.8m higher as already approved. The front roof slope would have two pitched roof dormers each side of a central dormer that would extend to two storey as the entrance and landing. This remains unchanged.

Materials would be white render to the walls and grey roof tiles. The dormers to the front would be clad in weather treated timber or timber effect upvc and the rear ones tile hung to match the roof.

### **Relevant Planning History**

63370 - Raise ridge height of roof/roof extension with dormers at front to existing bungalow to form first floor; Single storey extensions at front and rear; Render to external elevations - AC 09/11/2018

64741 - Demolition of existing dwelling and erection of replacement dwelling - AC 18/12/2019.

### **Publicity**

13 notification letters were sent on 12/05/21 to addresses at 10-18, 21, 25 & 27 Hillsborough Drive and 1-4 Leeds Close. Responses have been received from 3 addresses at 1 Leeds Close and 21 & 27 Hillsborough Drive their comments in summary are:-

- Building work has been undertaken in an amateur fashion and at a snail's pace so residents have had to endure an eyesore for 2 years.
- Large picture window will invade privacy at rear of 27 Hillsborough Drive
- Overlooking to residents at rear of site. A sitting room is likely to be used more frequently and as a result privacy of those at the rear will be compromised.

The objectors have been notified of the Planning Control Committee meeting.

### **Statutory/Non-Statutory Consultations**

**Traffic Section** - No objection subject to conditions.

**Pre-start Conditions** - Not relevant.

### **Unitary Development Plan and Policies**

H2/1	The Form of New Residential Development
H2/2	The Layout of New Residential Development
EN1/2	Townscape and Built Design
EN7	Pollution Control
HT2/4	Car Parking and New Development
EN7/5	Waste Water Management
EN7/3	Water Pollution
EN5/1	New Development and Flood Risk
HT6/2	Pedestrian/Vehicular Conflict
SPD6	Supplementary Planning Document 6: Alterations & Extensions
SPD11	Parking Standards in Bury
NPPF	National Planning Policy Framework

### **Issues and Analysis**

**Policies and principle** - UDP Policies H2/1 - The Form of New Residential Development and H2/2 - The Layout of New Residential Development takes into consideration factors relating to the height and roof type of adjacent buildings, the impact of developments on residential amenity, the density and character of the surrounding area and the position and proximity of neighbouring properties. Regard is also given to parking provision and access, landscaping and protection of trees/hedgerows and external areas.

Supplementary Planning Document 6 - Alterations and Extensions to Residential Properties provides useful guidance in terms of acceptable aspect standards between dwellings and design criteria.

The principle of residential development was established with the grant of planning permission in December 2019. The proposed development is therefore considered to be acceptable in principle and complies with the NPPF and UDP Policies H2/1 and H2/2.

**Visual amenity and design** - As previously reported, this section of the road including the site consists of 7 bungalows of the same type. No.35 at the opposite end of the row, has been extended to a full height two storey dwelling with a dormer to the side, which was allowed on appeal. As such, the row already has variations in heights and styles.

The area contains a mix of house types and styles. Whilst the proposal would see a dormer bungalow higher than the adjacent bungalow, seen in connection with the surrounding properties including the extended bungalow at the end of the row, it is not considered that it would appear as an intrusive feature in the street, rather a 'bookend'. Whilst the roof would be higher than it was formerly, the approval of the bulk of this development was considered previously and it was considered and approved with the view that the property would still retain the appearance of a dormer bungalow. There would be a gap to the side boundary of 2.7m which would provide sufficient distance from the new

side wall to the public footpath so that that the development would not appear overbearing.

The proposal would be as previously approved with the only external alteration being the addition of a rear dormer. It would have a pitched roof and be 3m wide with a full glazed window. It not occupy a disproportionate area of the rear roof slope and be centrally located above patio doors to the rear elevation. Given where the dormer would be located, it would be set away from the public street side of the property and would not have a dominant or ready appearance in the street scene. As such this change would not cause any significant concerns in relation to visual amenity or design.

The design and materials would see a change in the appearance from the previous property however the design is not an uncommon one for a domestic dwellings. The dormers to the front would be subservient to the central feature and the proposed frontage would appear balanced. The use of render is not out of character in the area and an increasingly popular domestic finish.

### **Highways**

The development proposes 2 parking spaces located to the existing front drive and would be as previously approved. SPD11 - Parking Standards requires a maximum of a 3 spaces for a 3 bed dwelling (same for a 4 bed dwelling) and 2 spaces can be acceptable for high access areas. The site is located in a relatively high access area and with on street parking running the length of the fairly wide road. In this respect the 2 parking spaces proposed are considered sufficient.

The Traffic Section have raised no concerns subject to a condition for the implementation of the parking arrangements.

### **Residential amenity**

The building would project 1.7m deeper at the front adjacent to No.25 Hillsborough Drive which has a garage door at the front closest to the boundary. Therefore there would be no significant impact on the main front windows to this neighbouring property.

The site is positioned to the north east of the garden to No.25 and the rear elevation of the new dwelling would not extend any further back than the existing property does. The main rear elevation of No.25 is also slightly deeper. As such the increased roof height would not cause any significant loss of light or overshadowing to the rear garden of No.25.

The additional dormer as part of this proposal would be to a habitable room. It would be set 1.6m in from the boundary with No.25 to the side and the window would face directly down the site garden. There would be in excess of 7m to the rear boundary and the properties at the rear would be over 20m away and therefore policy compliant and not cause undue impact upon privacy.

No.21 Hillsborough Drive is located to the side across the street and a bungalow with the closest section 17m away and blank wall. The proposed side gable wall of the building would have a secondary bedroom window to the top. An advisory is added that this will not be treated as a main habitable room window should this neighbouring property look to extend.

The properties opposite to the front are over 20m away. The separation distances would comply with SPD6 aspect standards.

Given the increase in the size of the proposed dwelling over the original bungalow and its proximity to adjacent properties, as with the previously approval, it is recommended that permitted development rights are removed in order to control any further extensions or alterations on the property.

There would then be no serious impact on the amenity of any adjacent neighbouring properties and the proposed development complies with UDP Policies H2/1, H2/2 and

SPD6.

**Response to neighbour objections** - Works commenced on site under approval 64741. There is no statutory period for completion under the planning regulations. The proposed additional dormer complies with SPD6 aspect standards which sets out separation distances in order to maintain adequate levels of privacy. No.27 is located to the south west and next door but one therefore the proposed dormer would not have a directly facing relationship.

**Statement in accordance with Article 35(2) Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015**

The proposal complies with the development plan and would improve the economic, social and environmental conditions of the area. It therefore comprises sustainable development and the Local Planning Authority worked proactively and positively to issue the decision without delay. The Local Planning Authority has therefore implemented the requirement in Paragraph 38 of the National Planning Policy Framework.

**Recommendation:** Approve with Conditions

**Conditions/ Reasons**

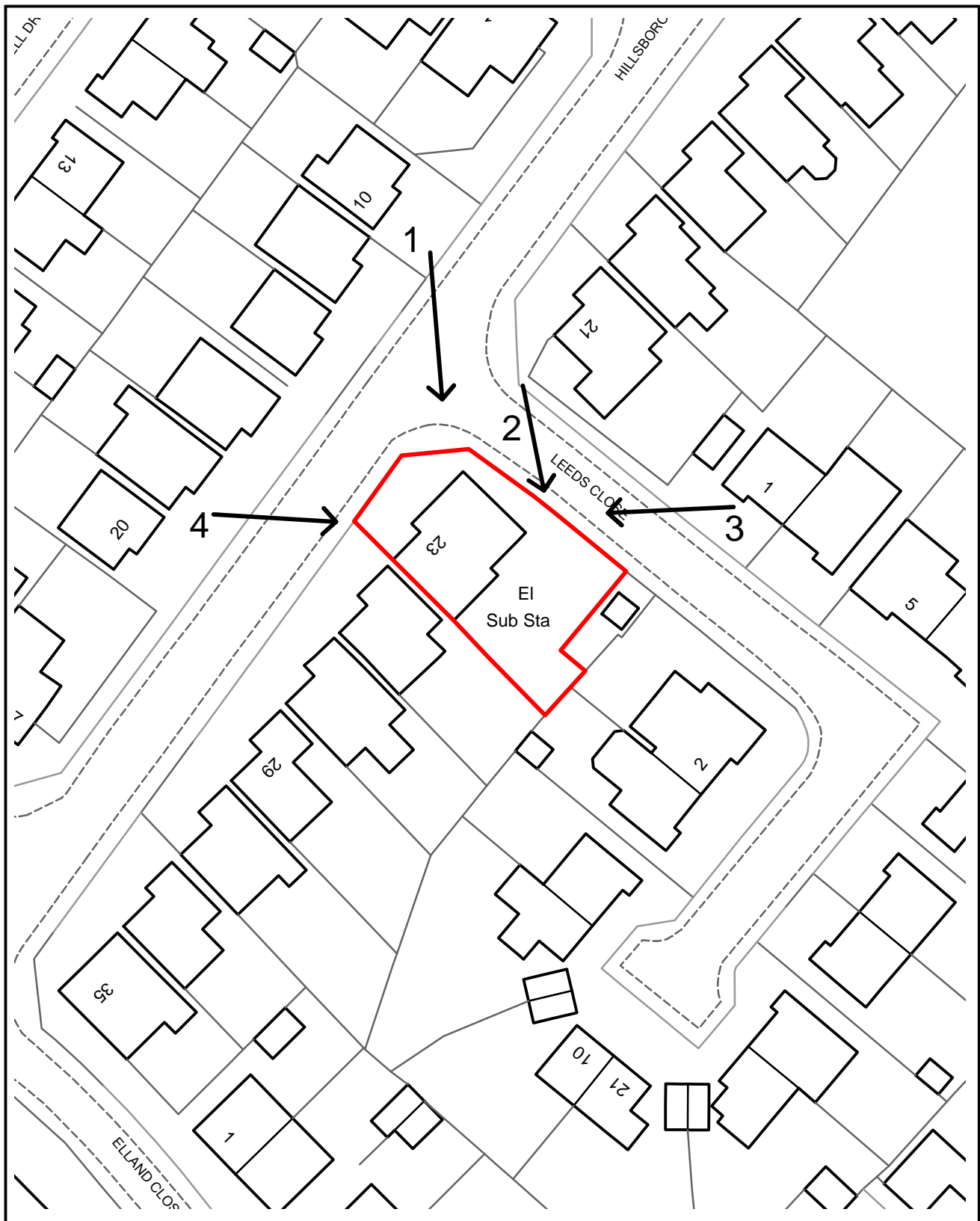
1. The development must be begun not later than three years beginning with the date of this permission.  
Reason. Required to be imposed by Section 91 Town & Country Planning Act 1990.
2. This decision relates to drawings numbered ZT18-196-00, ZT18-196-01, ZT18-196-02 Revision A, ZT18-196-03 Revision E, ZT18-196-07 Revision A, ZT18-196-08 Revision C and the development shall not be carried out except in accordance with the drawings hereby approved.  
Reason. For the avoidance of doubt and to ensure a satisfactory standard of design pursuant to the policies of the Bury Unitary Development Plan listed.
3. The car parking arrangements indicated on approved plan reference ZT18-196-03 Revision E, incorporating the retention of the existing dropped crossing, provision of a driveway to the dimensions indicated, in a porous/permeable material and/or measures to prevent the discharge of surface water onto the adopted highway, fencing to prohibit the use of the existing informal parking area adjacent to Leeds Close and all associated footway remedial works abutting the site required as a result of the construction of the proposed development and statutory undertakers connections to the dwelling, shall be implemented to the satisfaction of the Local Planning Authority prior to the dwelling and driveway hereby approved being occupied/brought into use.  
Reason. To allow adequate space to maintain vehicles clear of the highway in the interests of highway safety and to maintain the integrity of the adopted highway pursuant to policy HT2/4 - Car Parking and New Development of the Bury Unitary Development Plan.
4. The development shall be carried out in accordance with the 'Construction Traffic Management Plan' (CTMP), approved under condition 6 of permission 64741 and shall be adhered to throughout the construction period and the measures shall be retained and facilities used for the intended purpose for the duration of the both periods. The areas identified shall not be used for any other purposes other than the storage of demolition/construction materials.  
Reason. To mitigate the impact of the construction traffic generated by the proposed development on the adjacent residential streets, and ensure adequate off street car parking provision and materials storage arrangements for the duration of the construction period and that the adopted highways are kept free of deposited material from the ground works operations, in the interests of highway

safety pursuant to Bury Unitary Development Plan Policies EN1/2 - Townscape and Built Design and HT6/2 - Pedestrian/Vehicular Conflict.

5. The development shall be carried out in accordance with the surface water drainage proposals approved under condition 7 of permission 64741. The approved scheme only shall be implemented prior to first occupation and thereafter maintained.  
Reason. To promote sustainable development and reduce flood risk pursuant to Unitary Development Plan Policies EN5/1- New Development and Flood Risk , EN7/3 - Water Pollution and EN7/5 - Waste Water Management and chapter 14 - Meeting the challenge of climate change, flooding and coastal change of the NPPF.
6. Foul and surface water shall be drained on separate systems.  
Reason. To ensure a satisfactory means of drainage pursuant to Policy EN7/5 - Waste Water Management of the Bury Unitary Development Plan.
7. Notwithstanding the terms of the Town and Country Planning (General Permitted Development) (England) Order 2015, as subsequently amended, no development shall be carried out within the terms of Classes A to G of Part 1 of Schedule 2 of the Order, without the submission and approval of a relevant planning application.  
Reason. To ensure that future inappropriate alterations or extensions do not occur pursuant to policies of the Unitary Development Plan listed.

For further information on the application please contact **Jane Langan** on **0161 253 5316**

# Viewpoints



## PLANNING APPLICATION LOCATION PLAN

**APP. NO 66928**

**ADDRESS: 23 Hillsborough Drive  
Bury**

**Planning, Environmental and Regulatory Services**

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**Bury**  
COUNCIL

66928

Photo 1



Photo 2



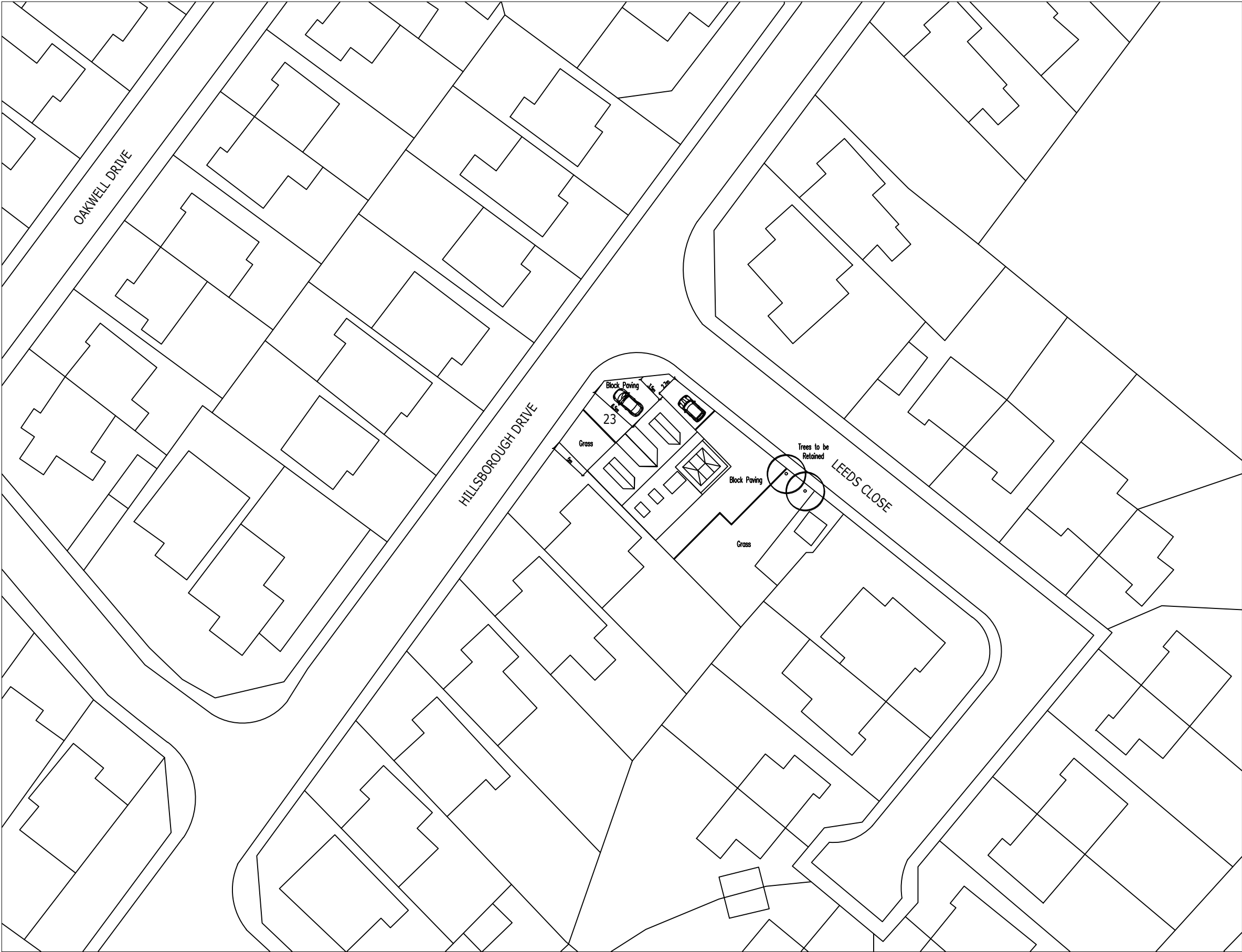
66928

Photo 3



Photo 4





01 Proposed Site Plan  
Scale 1:500

**Notes**

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Do not scale off this drawing

All dimensions are to be checked on site and any discrepancies to be referred to the architect before proceeding.

All levels to be checked on site

All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect prior to proceeding.

All component sizes and references to be checked before ordering



SURVEY ORIENTATED TO MAGNETIC NORTH

ID	Trees Retained	28.10.19	ZT	
C	External Landscaping updated	09.10.19	ZT	
B	Dormer added to Bathroom	02.10.19	ZT	
A	Pavement dimensions added	25.10.18	ZT	
Rev	Description	Date	By	Chk

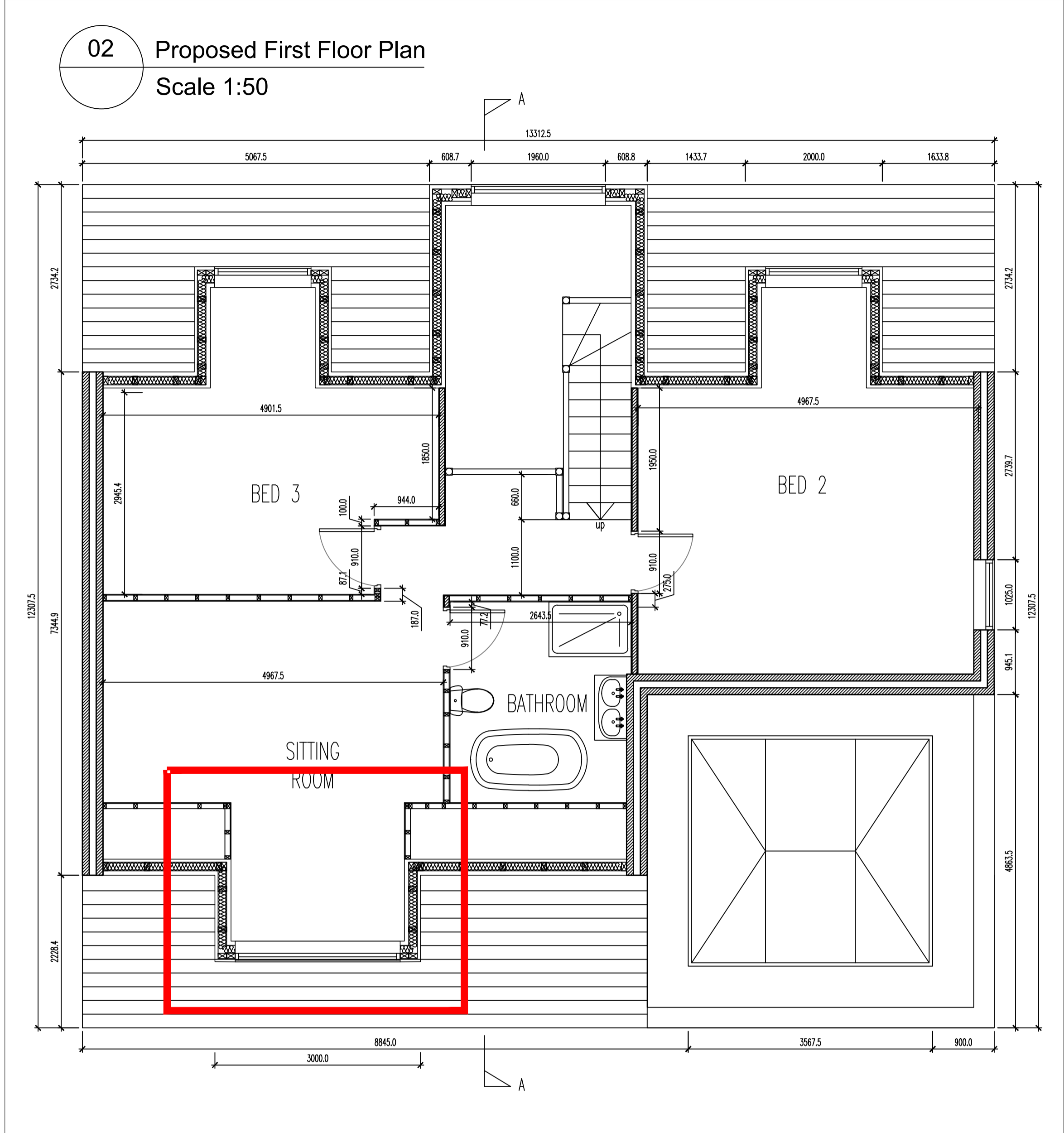
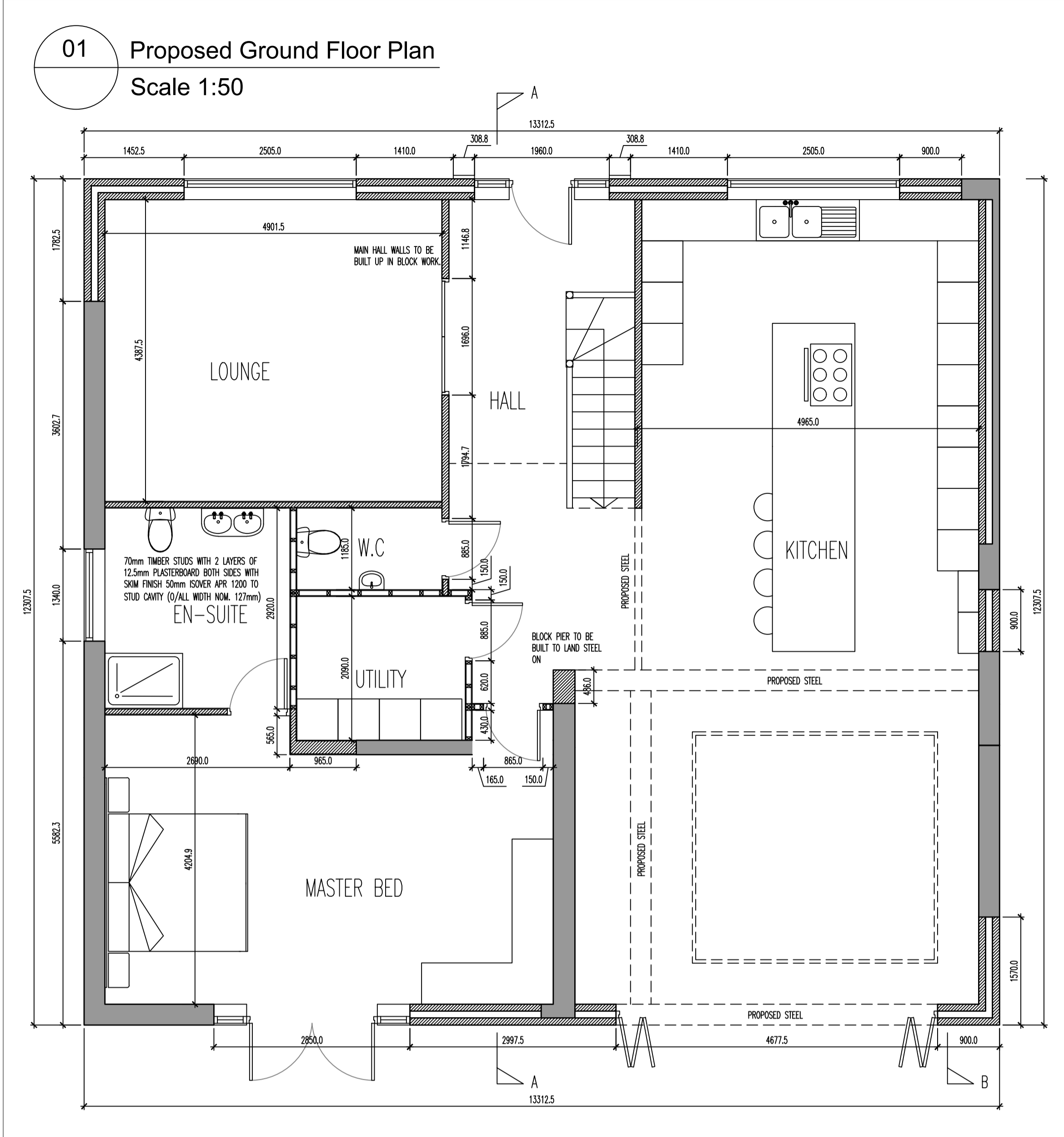
<b>Status</b>		<b>Purpose for Issue</b>	
Planning	<input type="checkbox"/>	Tender	<input type="checkbox"/>
Construction	<input checked="" type="checkbox"/>	As Built	<input type="checkbox"/>
<b>PLANNING</b>			

Client  
Mr & Mrs Goldstone

Contract  
Proposed Extension and Dormer Works

Drawing  
Proposed Site Plan

Drawing No.	ZT18-196-03	Revision	D
Scales	1:500 @ A3	Date	Oct '18
Drawn	ZTT	Checked	



Notes

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Do not scale off this drawing

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All levels to be checked on site

All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect prior to proceeding.

All component sizes and references to be checked before ordering

Position of existing drain runs to be confirmed prior to proceeding and drains checked as necessary.

All relevant boundary positions are to be checked prior to proceeding

**EXTERNAL WALL**  
THERE WILL BE MINIMUM OF 2 COURSES OF BRICK TO UPC LEVEL. THE REST OF THE EXTERNAL FACADE IS TO BE WHITE RENDER.

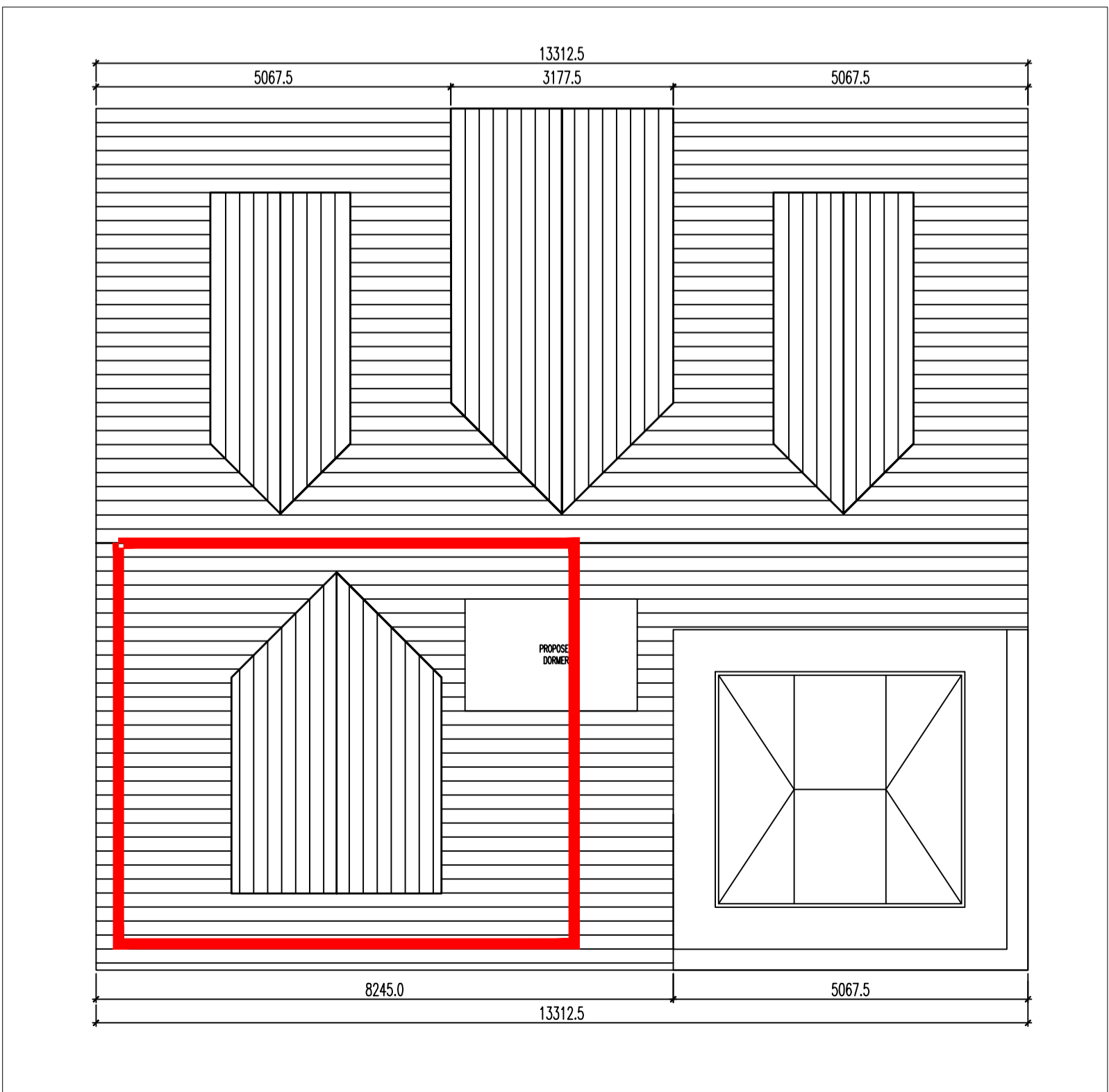
**ROOF TILE**  
THE PROPOSED ROOF TILE SHALL BE GREY TO MATCH EXISTING - DUE TO THE NEW ROOF DESIGN ALL PROPOSED WILL BE NEW.

**DORMERS**  
THE PROPOSED DORMERS WILL BE CLAD IN A WEATHER TREATED TIMBER OR TIMBER EFFECT UPVC. REAR DORMERS TO BE SIDE HUNG TILES TO MATCH MAIN ROOF.

**WINDOWS AND DOORS**  
ALL EXISTING WINDOWS ARE TO BE REPLACED WITH GREY FRAMES - ALL NEW WINDOWS TO HAVE GREY FRAMES.

**RAIN WATER UPVC**  
ALL RAIN WATER UPVC WILL BE BLACK.

**UPVC FACIA**  
PROPOSED UPVC FACIA TO BE ASH BLACK

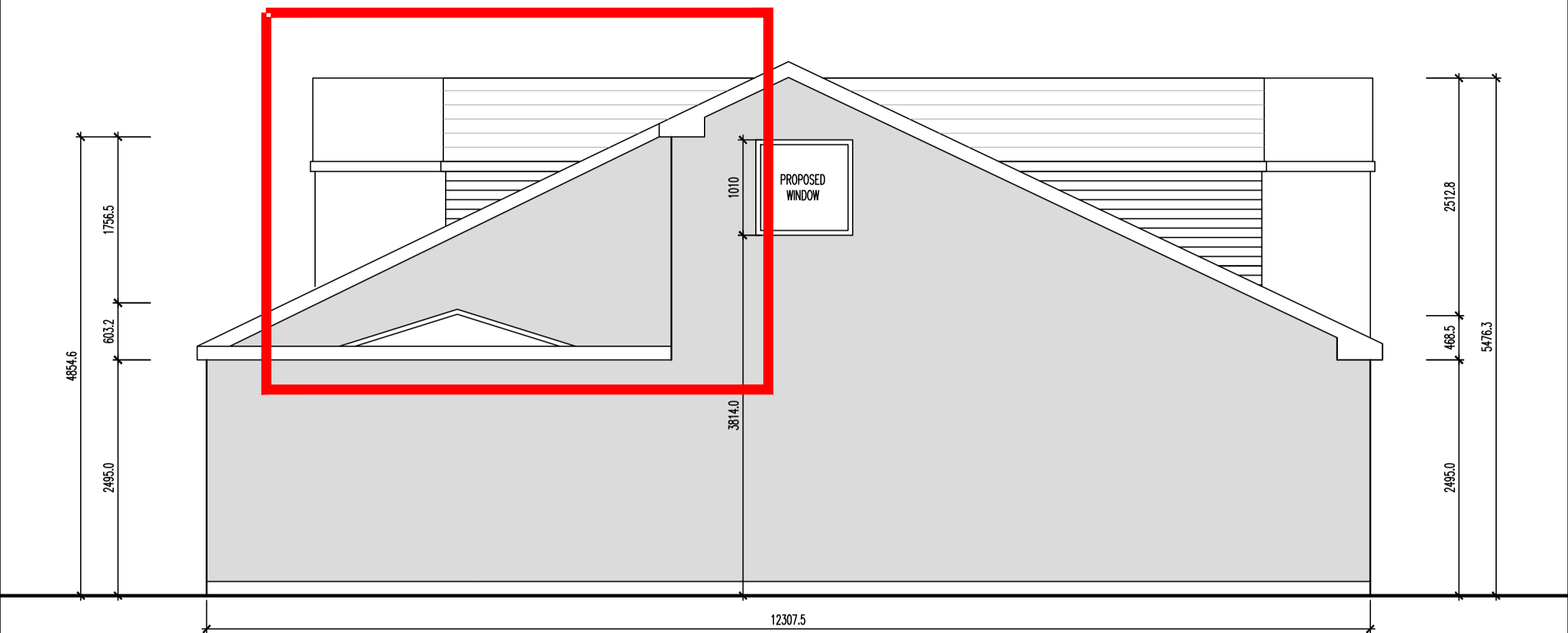


Rev	Description	Date	By	Chk
Status		Purpose for Issue		
Survey	<input type="checkbox"/> Tender	<input type="checkbox"/>		
Construction	<input checked="" type="checkbox"/> As Built	<input type="checkbox"/>		
Client				
Mr & Mrs Goldstone				
Contract				
Proposed Bungalow Refurbishment				
Drawing				
Proposed Floor Plans				
Drawing No. ZT18-196-07		Revision	A	
Scales	1:50	Date	Nov '18	
Drawn	ZTT	Checked		

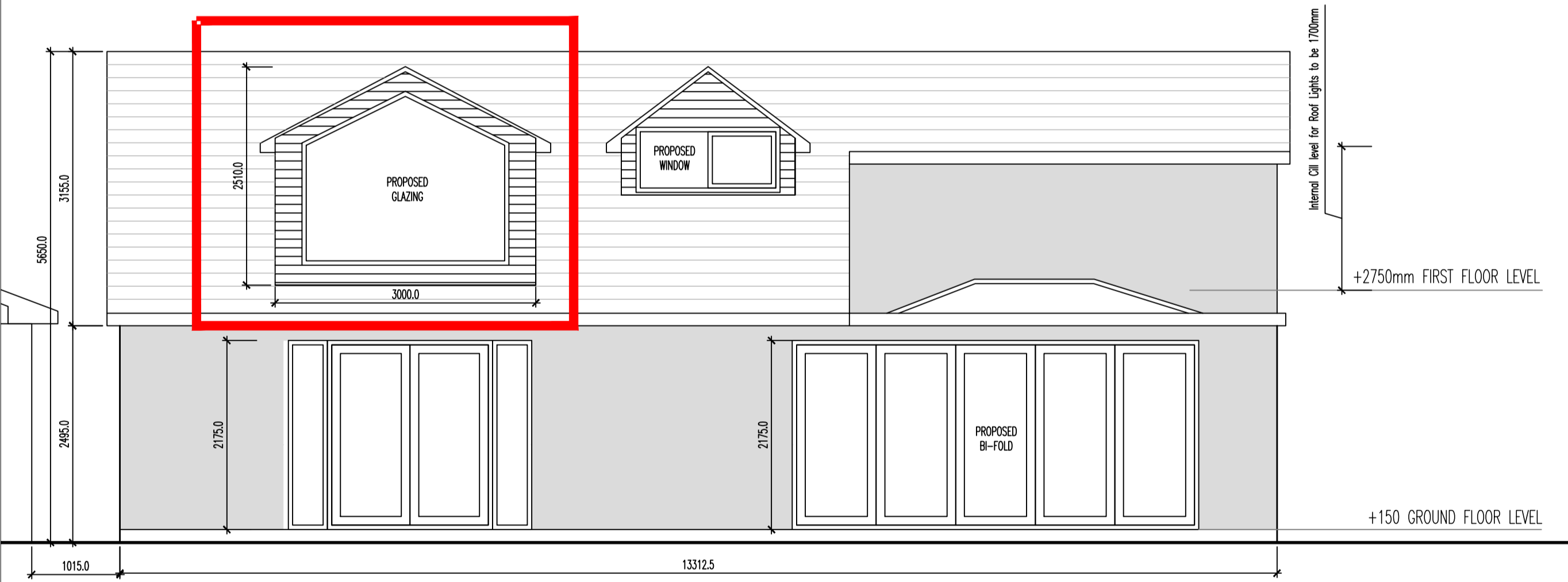
01 Proposed Front Elevation  
Scale 1:50



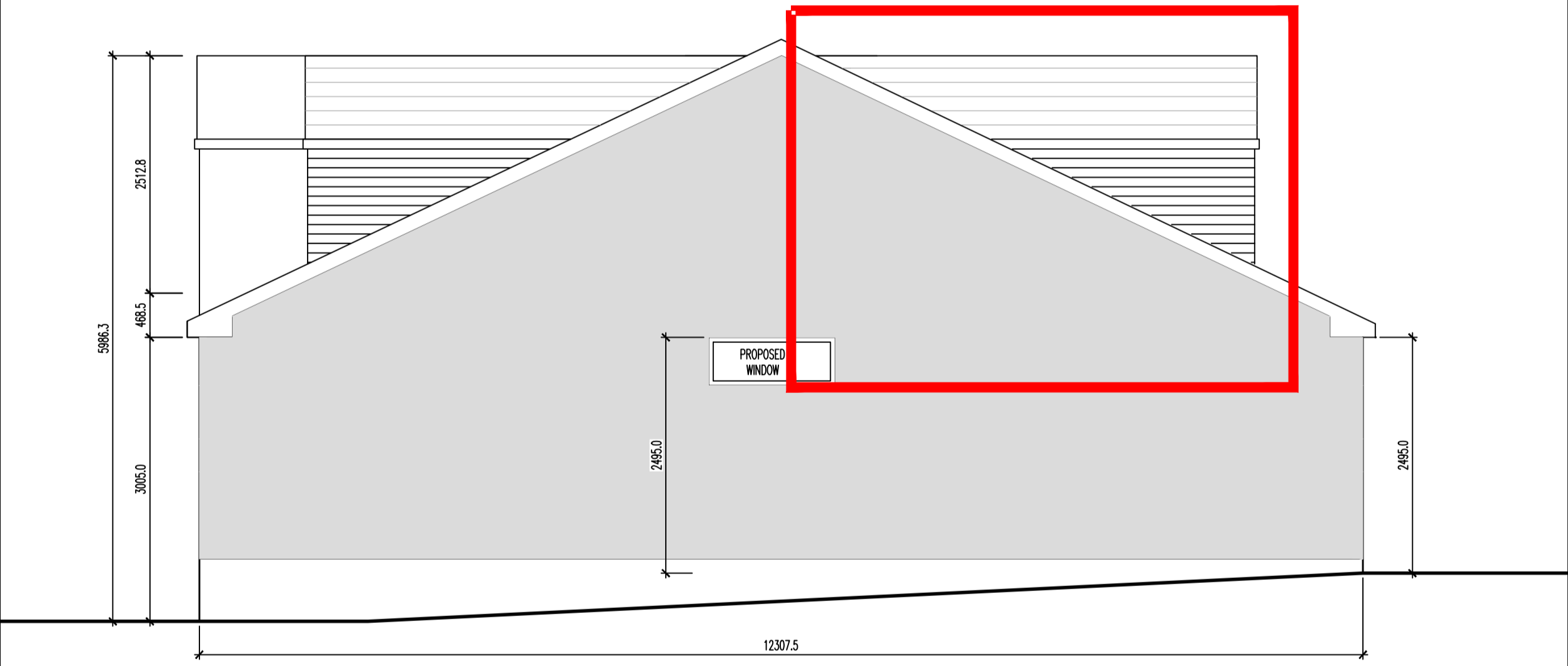
02 Proposed Side Elavation  
Scale 1:50



03 Proposed Rear Elevation  
Scale 1:50



04 Proposed Side Elevation  
Scale 1:50



EXTERNAL WALL  
THERE WILL BE MINIMUM OF 2 COURSES OF BRICK TO UPC LEVEL. THE REST OF THE EXTERNAL FACADE IS TO BE WHITE RENDER.

ROOF TILE  
THE PROPOSED ROOF TILE SHALL BE GREY TO MATCH EXISTING - DUE TO THE NEW ROOF DESIGN ALL PROPOSED WILL BE NEW.

DORMERS  
THE PROPOSED DORMERS WILL BE CLAD IN A WEATHER TREATED TIMBER OR TIMBER EFFECT UPVC. REAR DORMERS TO BE SIDE HUNG TILES TO MATCH MAIN ROOF.

WINDOWS AND DOORS  
ALL EXISTING WINDOWS ARE TO BE REPLACED WITH GREY FRAMES - ALL NEW WINDOWS TO HAVE GREY FRAMES.

RAIN WATER UPVC  
ALL RAIN WATER UPVC WILL BE BLACK.

UPVC FACIA  
PROPOSED UPVC FACIA TO BE ASH BLACK

Notes

Copyright in all documents and drawings prepared by the Surveyor and any works executed from these documents and drawings shall, unless otherwise agreed, remain the property of the Architect and must not be reproduced by, lent or disclosed to, a third party without the written consent of Zach Thorp.

Do not scale off this drawing

All dimensions are to be checked on site and any discrepancies to be referred to Zach Thorp before proceeding.

All levels to be checked on site

All discrepancies between information shown on the drawings and the information in the specification to be referred to the architect prior to proceeding.

All component sizes and references to be checked before ordering

Position of existing drain runs to be confirmed prior to proceeding and drains checked as necessary.

All relevant boundary positions are to be checked prior to proceeding

Rev	Description	Date	By	Chk
Status		Purpose for Issue		
Survey	<input type="checkbox"/> Tender	<input type="checkbox"/>		
Construction	<input checked="" type="checkbox"/> As Built	<input type="checkbox"/>		
Client				
Mr & MrsGoldstone				
Contract				
Proposed Bungalow Refurbishment				
Drawing				
Proposed Elevations				
Drawing No. ZT18-196-08				
Scales		Revision		C
1:50		Date		Nov '18
Drawn		Checked		ZTT

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